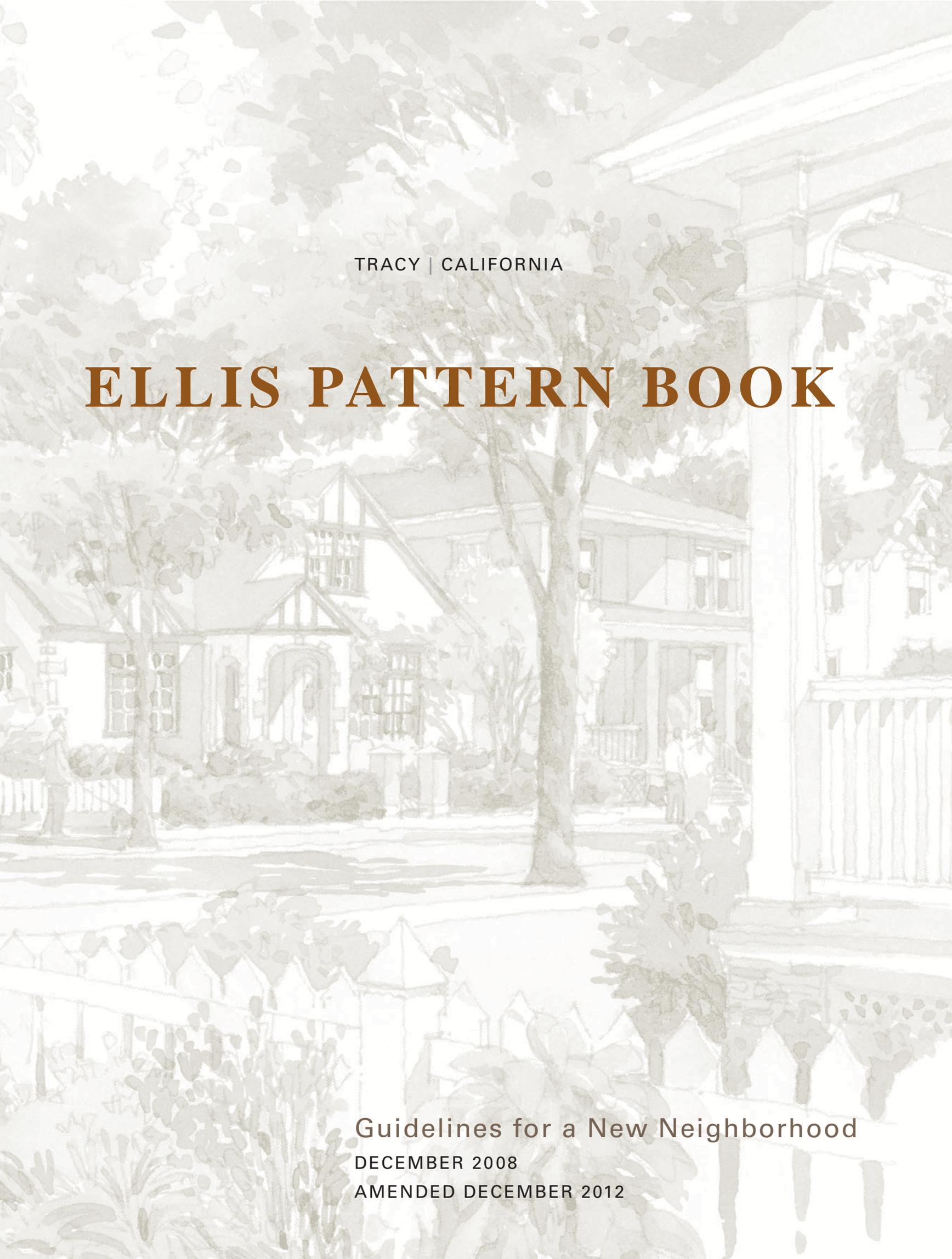


ELLIS PATTERN BOOK

Guidelines for a New Neighborhood



TRACY | CALIFORNIA

ELLIS PATTERN BOOK

Guidelines for a New Neighborhood

DECEMBER 2008

AMENDED DECEMBER 2012

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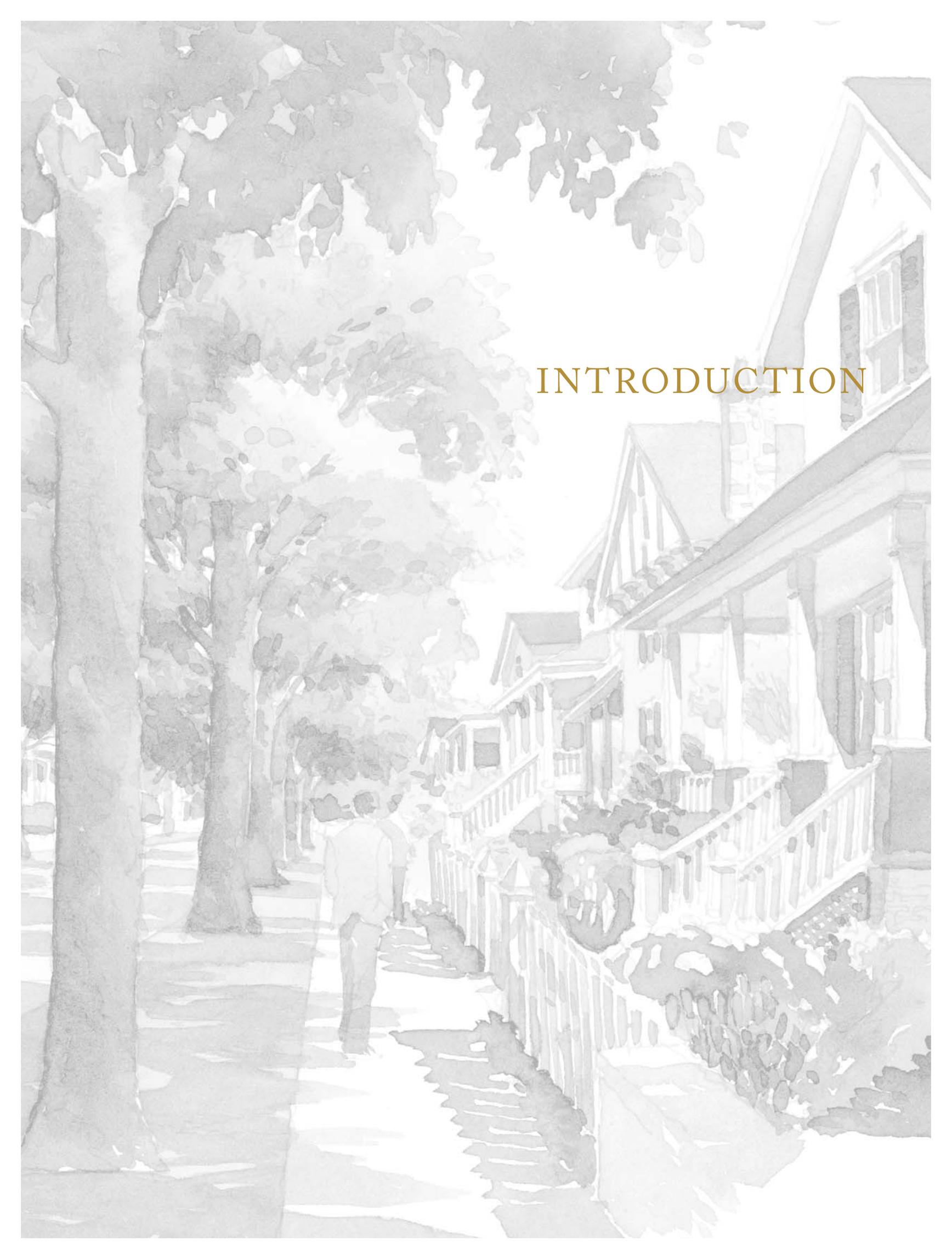
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The Ellis Pattern Book (EPB) illustrates and defines the basic parameters of all private development in Ellis — from the scale of the commercial uses to the scale of the community. The EPB defines appropriate architectural styles as well as traditional zoning criteria for height, setbacks, and parking.



A watercolor illustration of a residential street. On the left, a large tree with dense foliage stands on a sidewalk. A person in a light-colored jacket and dark pants is walking away from the viewer on the sidewalk. To the right, a row of houses with gabled roofs and porches is visible. The porches have white railings and are decorated with wreaths. The overall style is soft and artistic, with a muted color palette.

INTRODUCTION

OVERVIEW

For almost 200 years, pattern books have been used throughout the United States as a reference for builders and homeowners in building houses, churches, civic buildings, and garden structures — often in remote locations without the aid of an architect. The Ellis Pattern Book (EPB) has drawn on this technique to create a design palette and guidelines for the new community.

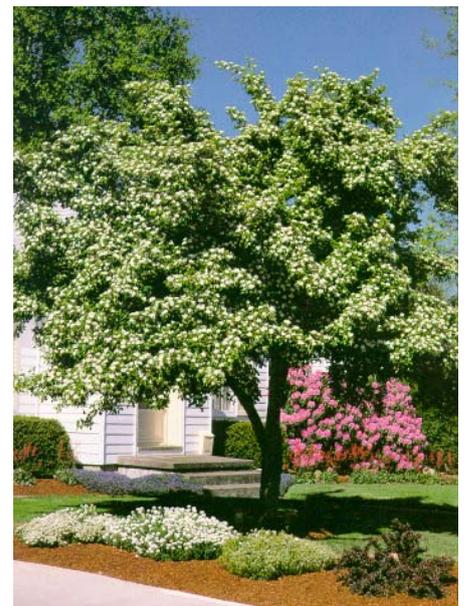
This Pattern Book presents a vision for Ellis and serves as a general guide to the development of the community, establishing guidelines that address the intended neighborhood character, building design, and landscape elements. The design guidelines contained in the Ellis Pattern Book are based on extensive research and documentation by the development team of precedents in the city of Tracy, San Joaquin County, and the Central Valley of California. Drawing on these precedents, the design principles for Ellis are aimed at creating a full spectrum of attractive building opportunities in a manner that respects the qualities of the local landscape.



Ellis Craftsman



Ellis Farmhouse Victorian



Ellis landscape



A village center in the region

The Ellis Pattern Book (EPB) contains four main sections with related sub-chapters: this Introduction; the Detached Residential Guidelines, including Community and Architectural Patterns; the Attached Residential Guidelines, including Community and Architectural Patterns; and Nonresidential Guidelines for Mixed-Use, including the Ellis Village Center and Family Swim Center, as well as Commercial Sites and Public Facilities.

Within the Detached and Attached Residential Guidelines, the Community Patterns serve to promote that neighborhoods contain a range of building sizes. Sidewalks and bike paths throughout the development create a community that is pedestrian and bicycle-friendly. Parks provide neighborhood-based active and passive recreational amenities within walking distance for residents.



A mixed-use street in the region



Ellis European Country



Ellis Spanish Colonial



Ellis Mediterranean Revival

OVERVIEW, CONTINUED

Six architectural styles have been selected for Ellis residential development: Ellis Craftsman, Ellis Farmhouse Victorian, Ellis Revival, Ellis European Country, Ellis Mediterranean Revival, and Ellis Spanish Colonial (Additional architectural styles may be added to the Pattern Book per ESP Section 6.5 Minor Variations to the Modified Ellis Specific Plan or Pattern Book.) The Architectural Patterns sections provide information regarding each of these styles, including a description of the history and character of the particular style, a gallery of built examples, the style's basic massing and composition, as well as possibilities for designs using a standard palette of materials. This kit-of-parts approach provides architects, builders, and homebuyers with examples for designing and personalizing a new home in Ellis.

Ellis includes a vibrant, mixed-use Village Center. This Village Center will draw on the character and quality of regional precedents and will accommodate a mix of uses including housing and commercial ventures; it will also act as a front door to the Family Swim Center. Buildings with active uses, such as ground-floor shops and/or offices will line Ellis Drive, while residential and/or offices located on upper floors will create a mixed-use environment reminiscent of the charming and beloved main streets of traditional towns throughout the region.

The Ellis community will be an extension of the urban fabric of the City of Tracy. The community has been designed in a compact form to maintain this distinct natural edge and connectivity.

This Pattern Book serves as the basis for design review and implementation.



An example of the historic architecture in the vicinity of Ellis

THE ARCHITECTURAL STYLES OF ELLIS



Ellis Craftsman



Ellis Farmhouse Victorian



Ellis European Country



Ellis Revival



Ellis Mediterranean Revival



Ellis Spanish Colonial

THE TOWNSCAPE OF ELLIS



ELLIS TOMORROW

Ellis is designed in the tradition of historic American settlements and the traditional towns of northern California. As depicted in the illustrations on these pages, the community will have a mix of different uses and a fine-grained network of streets, blocks, and parks.

Ellis will become an extension of the City of Tracy at its southwestern edge. Access to jobs and regional institutions will be a major component of Ellis. A Family Swim Center, serving the City of Tracy and the region, may be located along Corral Hollow Road on Ellis' eastern edge, adjacent to the Village Center. This facility is a new amenity and attraction for residents and visitors alike.

The new community will provide a mix of housing opportunities for the residents.





The neighborhoods of Ellis will each have a distinct character related to their locations. Parks, including native plants and landscape elements, will add to this character, as will the design of the houses and buildings. The essential qualities of these neighborhoods will reflect the vernacular architecture of established communities in the region, such as Pleasanton, Livermore, Stockton, and, of course, Tracy. These communities have a variety of different house types and styles, pedestrian-friendly streets, and unique park spaces and trails — the foundational elements of true places.



HOW TO USE THIS PATTERN BOOK

ORGANIZATION OF INFORMATION

The Ellis Pattern Book (EPB) will guide the development of the community and works in conjunction with the Modified Ellis Specific Plan (ESP) to create the vision for Ellis. The document is organized into four main sections.

INTRODUCTION

The introduction provides the reader with an overview of community character.

DETACHED RESIDENTIAL GUIDELINES

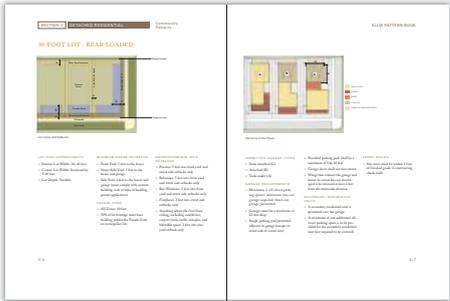
These guidelines outline the permitted residential types and the guidelines for placing detached residential units on lots. Six regional architectural vocabularies have been identified for single-family detached house types.

ATTACHED RESIDENTIAL GUIDELINES

Attached residences are permitted in designated areas throughout Ellis. The way these buildings should be situated on sites and lots, as well as five appropriate architectural styles, are described and illustrated.

MIXED-USE, COMMERCIAL, AND PUBLIC FACILITIES GUIDELINES

As a fully-integrated community, guidelines are provided for nonresidential uses, such as the mixed-use Village Center, Family Swim Center, commercial outparcels and permitted public buildings. Urban design principles, as well as the intended architectural character of these special places and amenities, are presented.



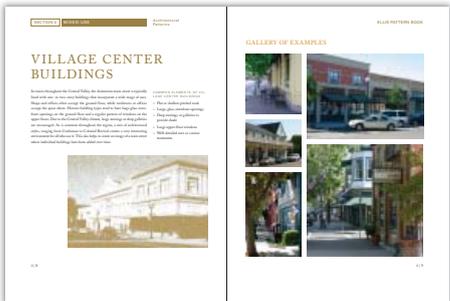
Introduction



Detached Residential Guidelines



Attached Residential Guidelines



Mixed-Use, Commercial, and Public Facilities Guidelines

PROCESS FOR USING THE PATTERN BOOK

This Pattern Book is designed to be used in the following four-step process.

STEP 1
FIND YOUR BUILDING TYPE

Match the intended building type to the guidelines appropriate for its scale, whether a detached residence, an attached residence, a mixed-use, commercial building, or public building.

STEP 2
SELECT THE LOT TYPE

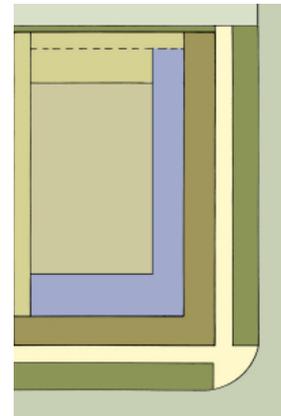
Match lot dimensions to the siting or lot type descriptions found in the Community Patterns section. The lot descriptions include the required minimum setbacks for the front, side, and rear yards for each lot type, resulting in the buildable area. Siting guidelines are provided for the non-residential areas of Ellis.

STEP 3
IDENTIFY THE SHAPE AND SIZE OF THE STRUCTURE

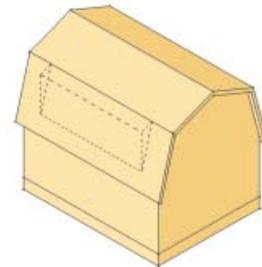
The example diagrams depict the typical massing of buildings in Ellis, including the main body, porch, and side and/or rear wings. The basic mass of a house will determine the general location of its programmatic elements. Each architectural style has its own page that describes the basic massing types for that style based upon regional precedents. Roof types are part of this overall massing decision. (Refer to the Detached and Attached Residential Guidelines for details regarding each of the individual styles.)

STEP 4
CONSIDER THE DESIGN POSSIBILITIES AND CHOOSE APPROPRIATE MATERIALS

Elevation drawings for attached and detached houses composed using elements described in the Pattern Book can be found on the last pages for each style type in the Architectural Patterns section. The elevations presented illustrate a sampling of the myriad design possibilities that can be achieved using the Pattern Book. These pages also provide a list of some common materials from which to build.



A typical detached residential lot diagram



A massing diagram



A window and door composition diagram



Illustrative elevation possibility

ELLIS BUILDINGS AND HOUSES

Ellis houses and residential buildings will comprise the backdrop of each neighborhood. The residences will define the character of the public spaces and reflect the preferences of the individuals behind the porch or front door.

In traditional neighborhoods, such as those at Ellis, the front portion of the house is the most public and must be responsive to adjacent houses and the overall character of the neighborhood. The landscaping of the front yard, setbacks from the street, size and placement of the house on the lot, and the front porch are all shared elements that form a harmonious public realm.

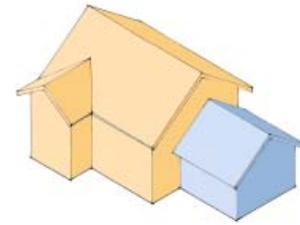
The detached and attached residential types at Ellis are based on the vernacular architecture of

the towns of San Joaquin County, particularly Tracy, using regional house types with appropriate style elements. The house types are defined by the character and shape of the main body, wings, and other elements that are added to increase living space.

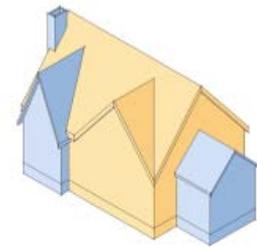
The patterns described in this book apply primarily to facades facing streets (see the Key Facades illustration on page 1-11). All material transition points should be a minimum of two feet back from the public corners of the house.



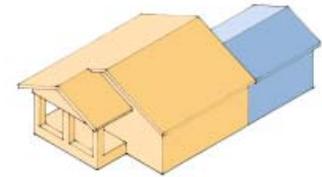
Illustrative view of an Ellis residential street



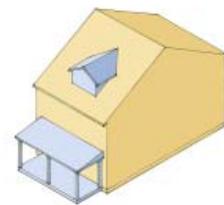
Gable-L house



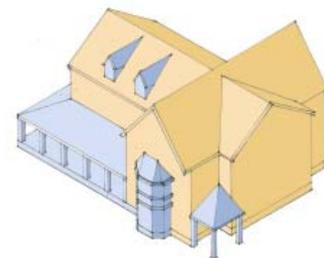
Side gable house with dominant cross gable



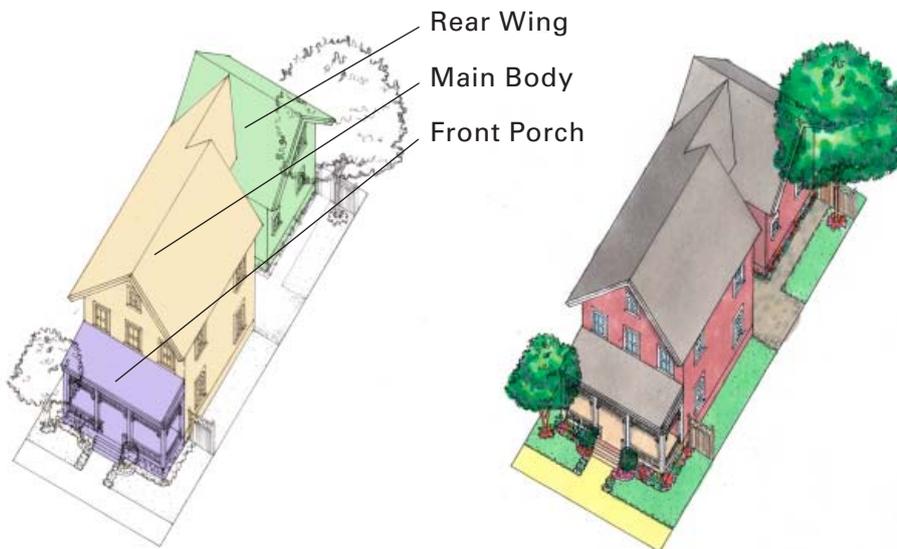
Front gable house



Side gable townhouse



6-Unit mansion apartment



THE ELLIS HOUSE
Simple, dignified massing with porch and rear wing added

ELEMENTS OF THE ELLIS HOUSE
The Main Body is the largest and most visible element with the most specific design requirements. Side or rear wings, porches, architectural elements, and outbuildings provide a menu of additional massing options for the homebuilder.

PRINCIPAL ELEMENTS

Ellis houses include the following principal elements:

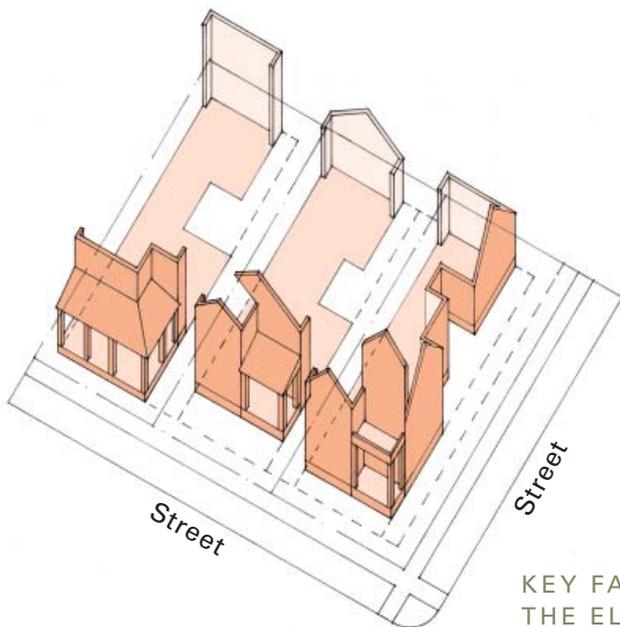
The **Main Body** of the house, which is the principal mass and includes the front door.

Side and Rear Wings, which are one or two stories high and connected to the Main Body. These optional additions are smaller than the Main Body and are set back from the front facade.

Front and Side Porches create exterior amenity space. Possibilities include full-facade front porches, wraparound porches, porticos, and side porches. Some architectural styles also have inset porches.

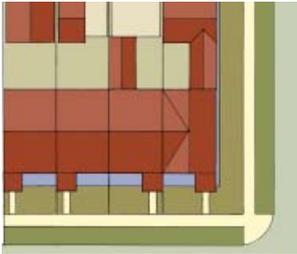
Outbuildings are optional structures that include carports, detached garages, storage buildings, and secondary residential units.

Note: Side Wings, Rear Wings, and Porches are part of a menu of options. These elements as illustrated in the Pattern Book are suggestions, not required as shown.

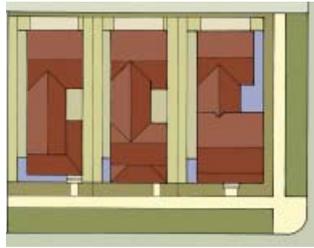


KEY FACADES OF THE ELLIS HOUSE
The principal elevations of the Ellis house are facades facing streets plus a 2-foot wrap.

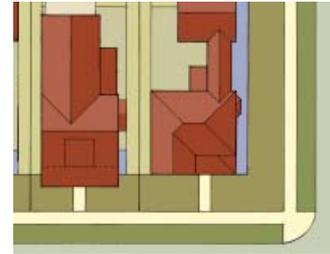
INVENTORY OF LOT TYPES



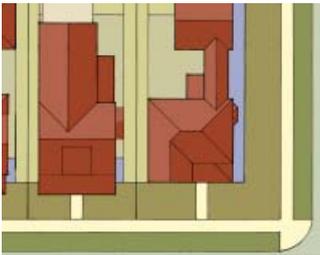
TOWNHOUSES



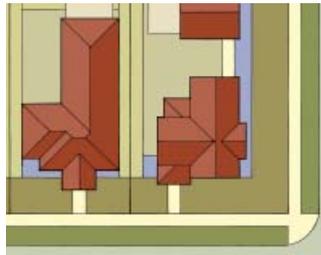
30-FOOT LOT:
REAR-LOADED



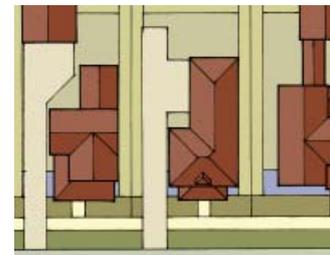
40-FOOT LOT:
REAR-LOADED



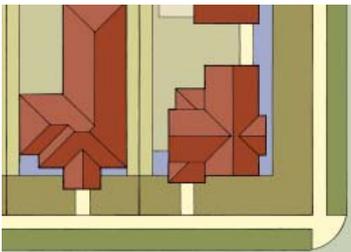
45-FOOT LOT:
REAR-LOADED



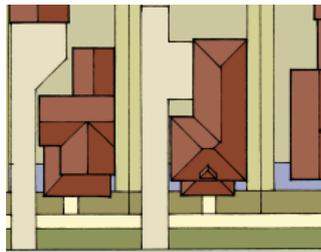
50-FOOT LOT:
REAR-LOADED



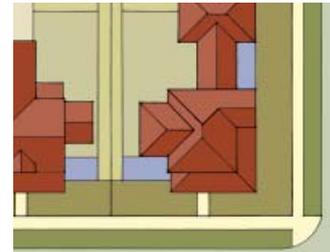
50-FOOT LOT:
FRONT-LOADED



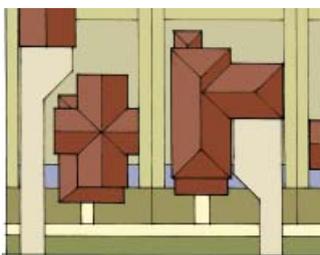
55-FOOT LOT:
REAR-LOADED



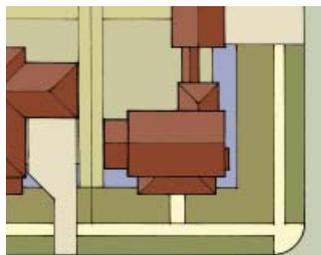
55-FOOT LOT:
FRONT-LOADED



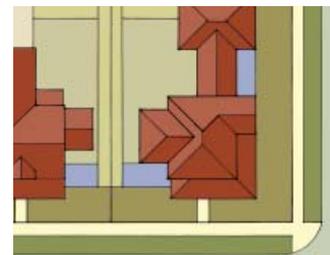
60-FOOT LOT:
REAR-LOADED



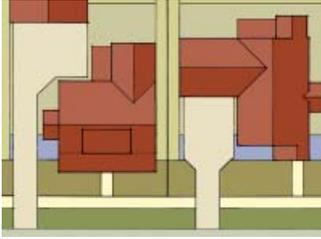
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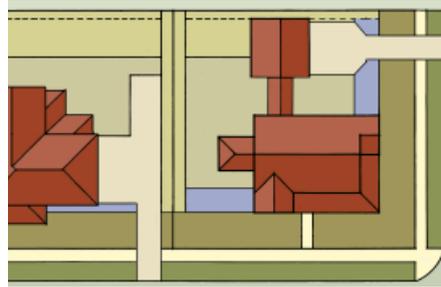
65-FOOT LOT:
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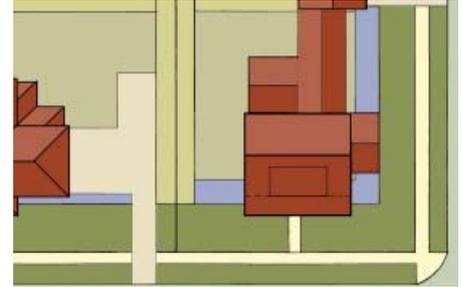
65-FOOT LOT:
REAR-LOADED



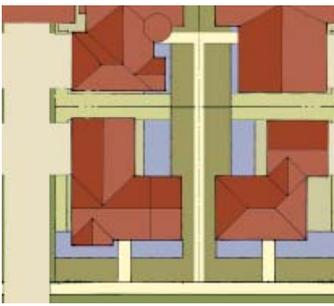
70-FOOT LOT:
FRONT-LOADED



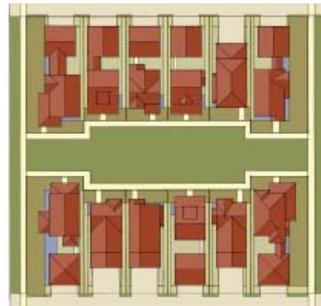
80-FOOT LOT:
FRONT-LOADED



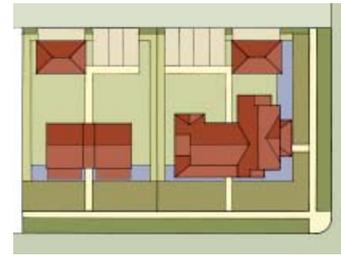
100-FOOT LOT:
FRONT-LOADED



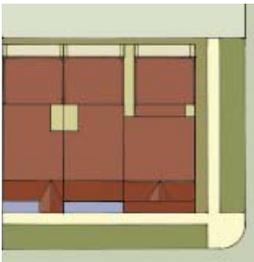
COURTYARD UNITS



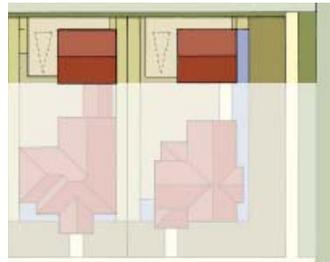
GREEN COURT



MANSION APARTMENTS



LIVE/WORK UNITS



SECONDARY
RESIDENTIAL UNITS

SETBACK REQUIREMENTS

Each lot has a series of setback lines that define the buildable area between houses, streets, and rear lanes. There are also zones within which the house shall be placed. These are defined as follows:

SETBACKS

- » Front Yard Setback: minimum distance between the front property line and the house
- » Side Yard Setback: minimum distance between the side yard property line and the house and garage

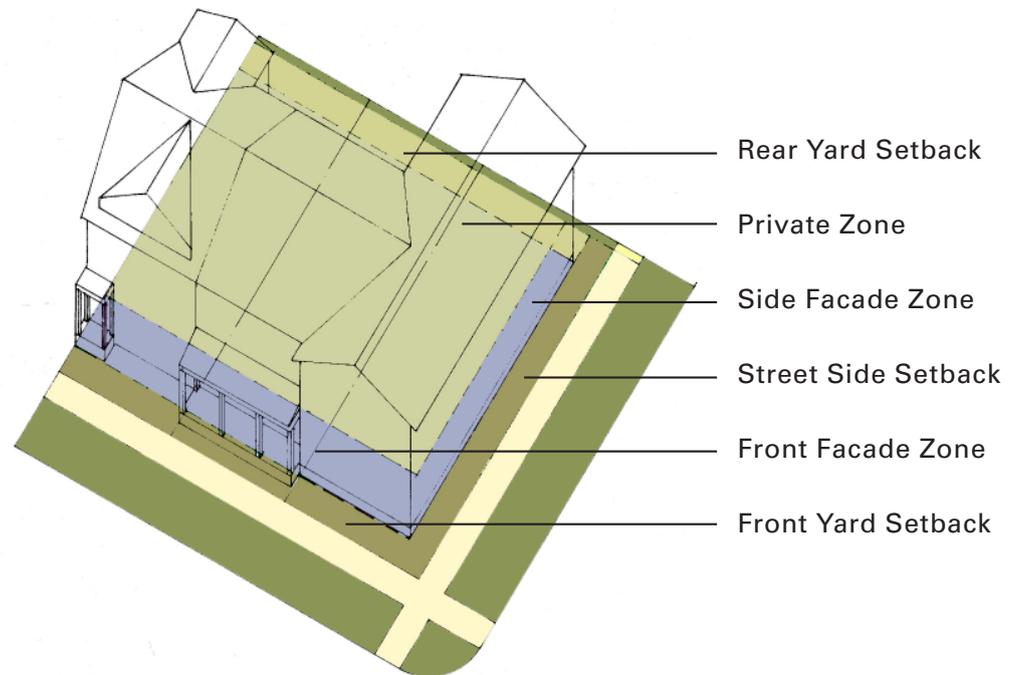
- » Rear Yard Setback: minimum distance between the lane right-of-way and the house and garage
- » Street Side Setback: minimum distance between the street side property line and the house and garage

FACADE ZONES

- » Designated area for the principal front and/or side facade of the house

PRIVATE ZONE

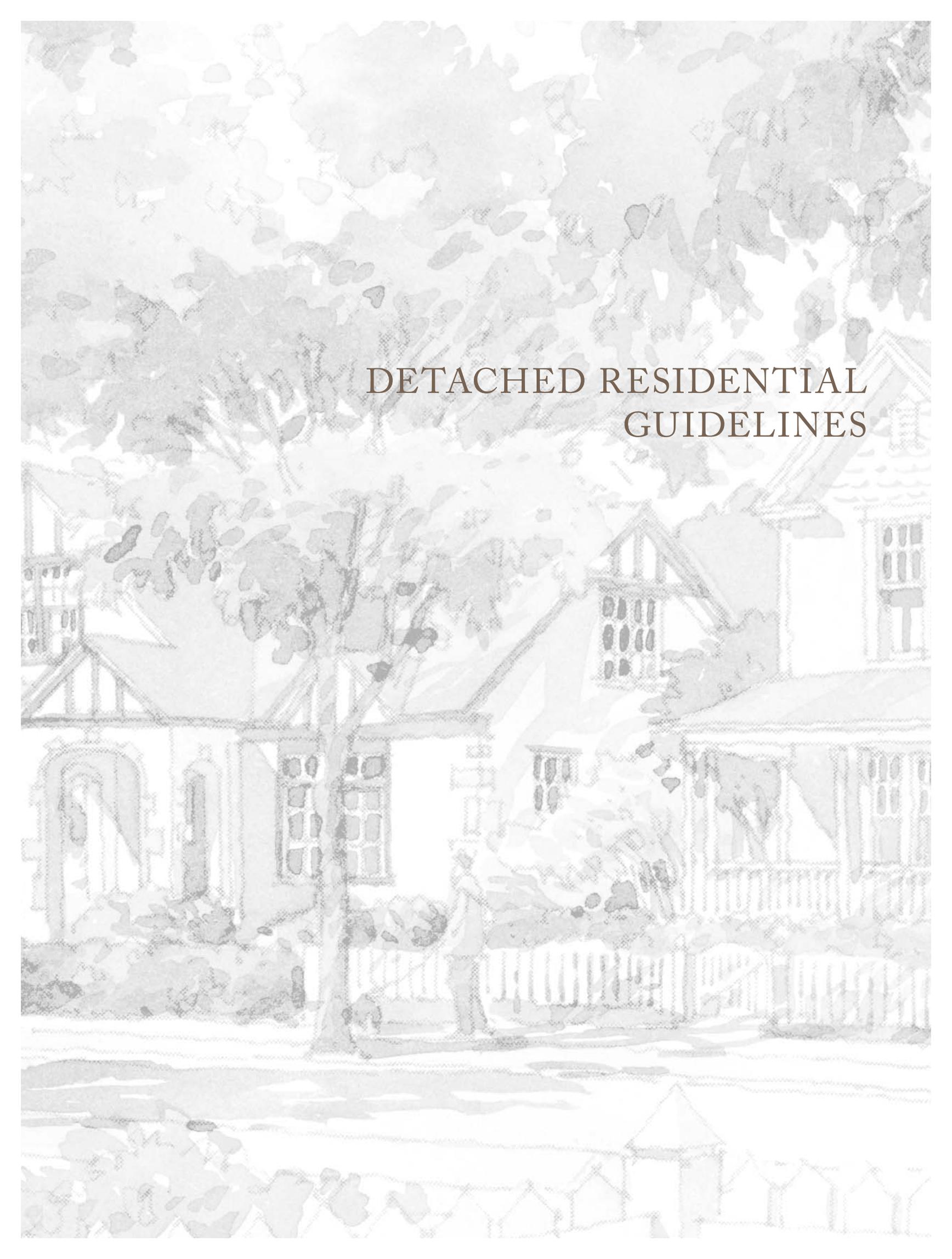
- » Private area of the lot



The street-facing facades of Ellis houses will be placed within the Facade Zones as shown above and throughout the lot diagrams presented elsewhere in the Pattern Book.

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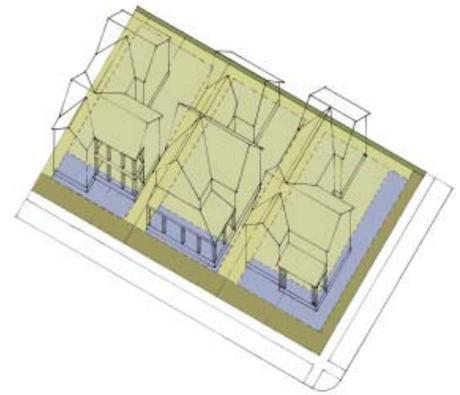
DETACHED RESIDENTIAL
GUIDELINES

COMMUNITY PATTERNS

The Detached Residential Community Patterns section contains guidelines for placing houses on lot types within the plan. These guidelines were developed as part of the master planning process, and are meant to promote the diversity and character of Ellis called for in the Modified Ellis Specific Plan is implemented and maintained.

All housing designs and site plans must be reviewed and approved via the Ellis Design Review process set forth in the Modified Ellis Specific Plan, Section 6: Plan Review.

Additional lot types may be added to the Pattern Book per Modified Ellis Specific Plan, Section 6.5 Minor Variations to the Modified Ellis Specific Plan or Pattern Book.



Illustrative view of a residential address at Ellis

SECTION 2 | DETACHED RESIDENTIAL Community Patterns

50-FOOT LOT : REAR-LOADED

Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 50-55 feet
- » Corner Lot Width: Increased by 5-10 feet
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

- » Front Yard: 10 feet to the house
- » Street Side Yard: 10 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 15 feet to the house; 5 feet to the garage (5 feet maximum to the garage (5 feet encouraged on corner lots))

FACADE ZONE

- » Zones: 15 feet front, 10 feet side
- » 50% of lot footage must have building within the Facade Zone on rectangular lots

ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis, canopies, and habitable space: 2' into rear yard setback only

PERMITTED GARAGE TYPES

- » Detached (C)
- » Semi-attached (A)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Garages must be a minimum of 20 feet deep
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)

SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is permitted over the garage
- » A minimum of one additional off-street parking space is to be provided for the secondary residential unit (not required to be covered)

FRONT WALKS

- » Site plans must be within 1 foot of finished grade if constructing check walls

2 | 18

ELLIS PATTERN BOOK

Elements of the House

- » MAIN BODY
- » PORCH
- » WINGS
- » GARAGE
- » PARKED PEDESTRIAN

PERMITTED GARAGE TYPES

- » Detached (C)
- » Semi-attached (A)
- » Attached
- » Tuck-under (B)
- » Tandem

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FRONT WALKS

- » Site plans must be within 1 foot of finished grade if constructing check walls

2 | 19

Each lot type found in the Community Patterns Sections is described in four specific diagrams:

LOT ZONES AND SETBACKS

Lot size, minimum setbacks and allowable encroachments into those setbacks, and the facade zone are described. These zones aid in properly situating the house with respect to its neighbors to create a harmonious streetscape.

ELEMENTS OF THE HOUSE

The main body, wings, bays, as well as the requirements for garages and potential secondary residential units, are described in this diagram.

YARD REQUIREMENTS

Fencing and landscape requirements are set forth in this diagram.

GENERAL REQUIREMENTS

The issues of required plan types and elevations are discussed to establish a refined house.

SECTION 2 | DETACHED RESIDENTIAL Community Patterns

50-FOOT LOT : REAR-LOADED

Yard Requirements

- » 10' x 6' TREE (NON-ORANGE TRUNK VARIETY)
- » PLANTING ZONE
- » FOUNDATION PLANTING ZONE
- » PRIVACY WALL
- » LAWN PLANTING ZONE

FENCE REQUIREMENTS

- » Front yard fencing is permitted in accordance with the Specific Plan
- » Side and rear yard fencing is encouraged for privacy. Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Top 2 feet of 6- or 8-foot fence facing streets and/or public space requires change in articulation and 40% opacity

FENCE SETBACKS

- » Rear Yard: minimum 2 feet from lane; 3 feet from rear property line in street side facade zone
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
 - » 30 or fewer lots = 1 floor plan
 - » 31 to 50 lots = 2 floor plans
 - » 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

- » Elevation variation should be manifested in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
 - » 30 or fewer lots = 2 elevations
 - » 31 to 50 lots = 2 elevations
 - » 51 or more lots = 3 elevations

GENERAL REQUIREMENTS

- » Each elevation is encouraged to have at least one alternative option for each of the following:
 - » exterior siding material
 - » exterior trim
 - » porch
 - » porch hand rail
- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

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ELLIS PATTERN BOOK

General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
 - » 30 or fewer lots = 1 floor plan
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- » Number of elevations developed based upon number of lots developed:
 - » 30 or fewer lots = 2 elevations
 - » 31 to 50 lots = 2 elevations
 - » 51 or more lots = 3 elevations

GENERAL REQUIREMENTS

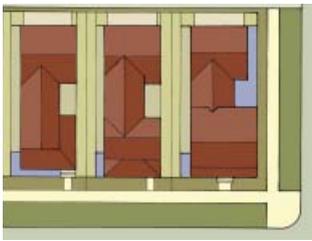
- » Each elevation is encouraged to have at least one alternative option for each of the following:
 - » exterior siding material
 - » exterior trim
 - » porch
 - » porch hand rail
- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

2 | 21

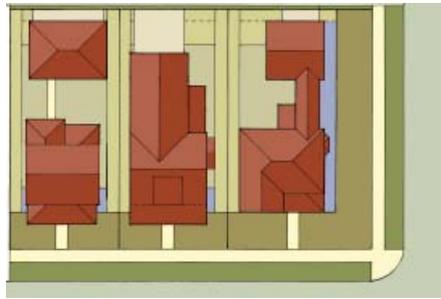
General Conditions pages for lots

LOT TYPES

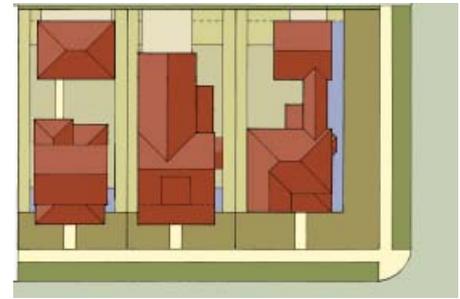
Ellis offers a variety of potential lot types ranging from 30 feet to approximately 100 feet wide. These lot types include: 30- to 65-foot-wide lots accessed from lanes, 50- to 100-foot-wide front-loaded lots, Courtyard Lots, Green Courts accessed from lanes, and secondary residential units. Many of these residential lots have parking accessed by a rear lane utilizing either a garage, carport, or paved parking pad. This enables continuous front yard landscaping uninterrupted by parked cars and driveways. Lot types are mixed throughout the community. Following the individual lot type diagrams presented on the next few pages, conditions for each of the individual lot types are described and illustrated.



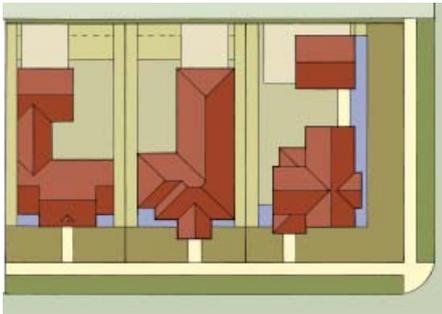
30-Foot Lots (rear-loaded)



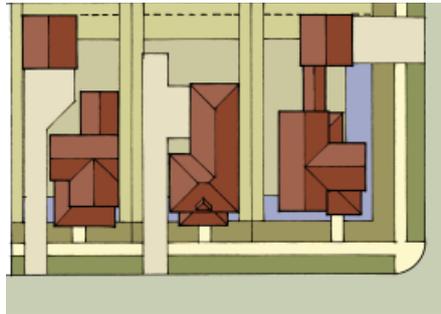
40-Foot Lots (rear-loaded)



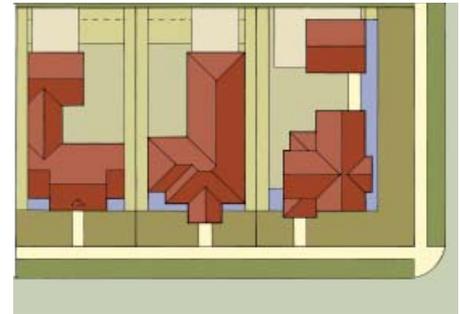
45-Foot Lots (rear-loaded)



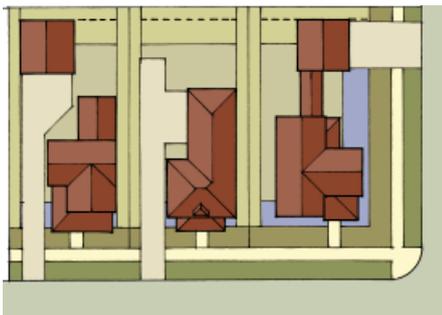
50-Foot Lots (rear-loaded)



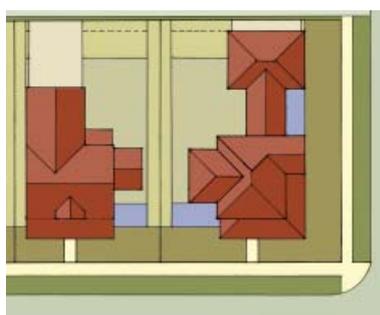
50-Foot Lots (front-loaded)



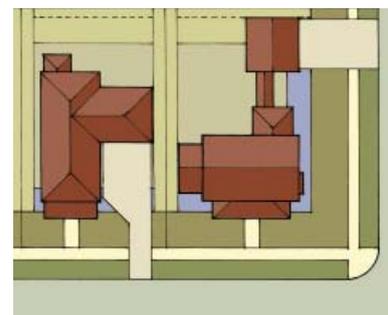
55-Foot Lots (rear-loaded)



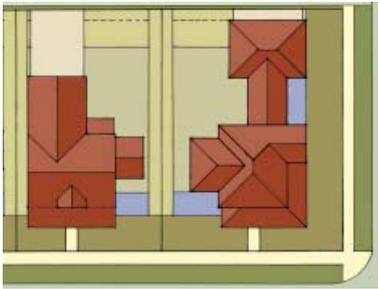
55-Foot Lots (front-loaded)



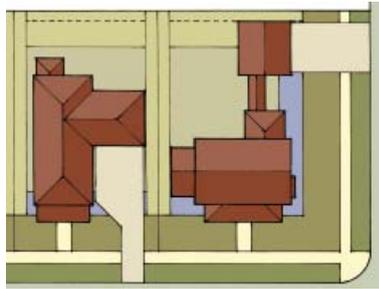
60-Foot Lots (rear-loaded)



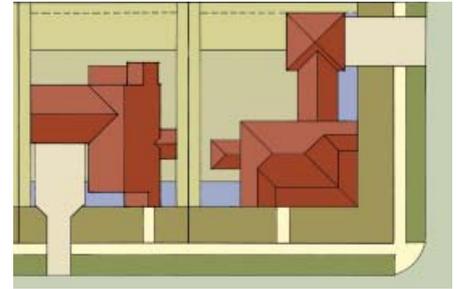
60-Foot Lots (front-loaded)



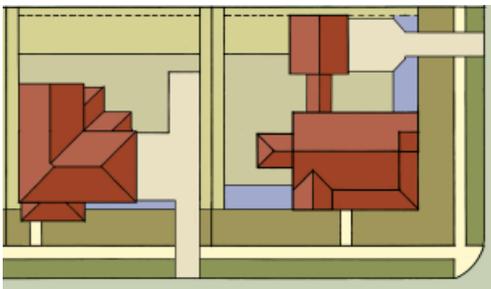
65-Foot Lots (rear-loaded)



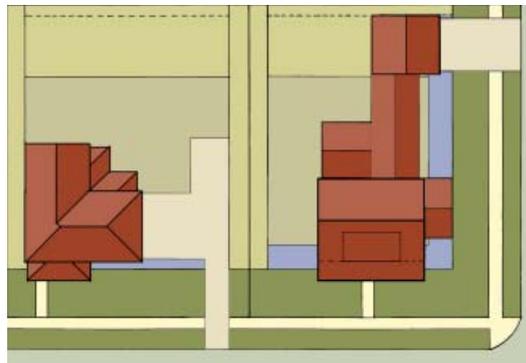
65-Foot Lots (front-loaded)



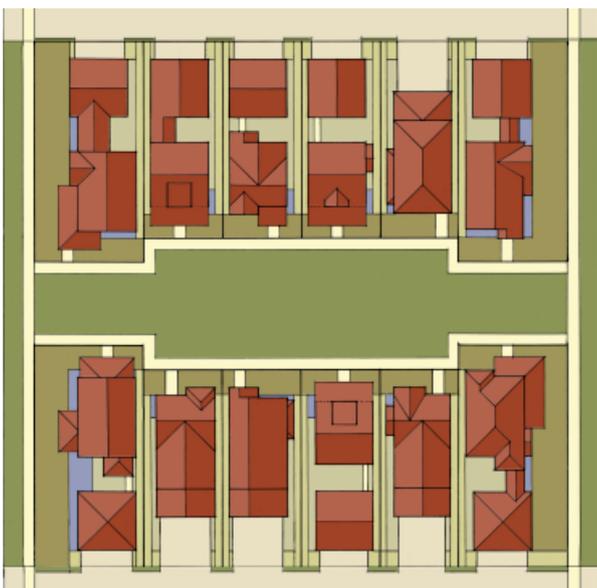
70-Foot Lots (front-loaded)



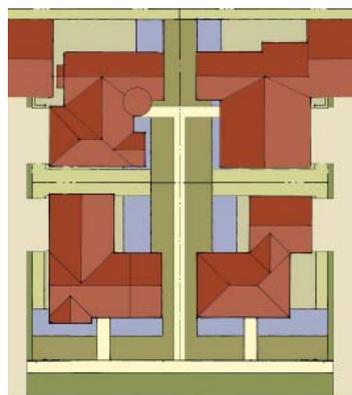
80-Foot Lots (front-loaded)



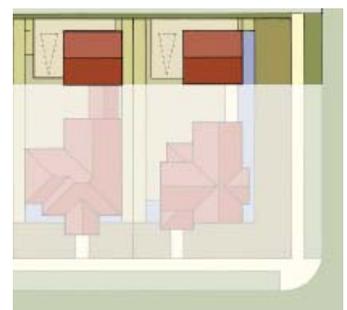
100-Foot Lots (front-loaded)



A Green Court (rear-loaded)

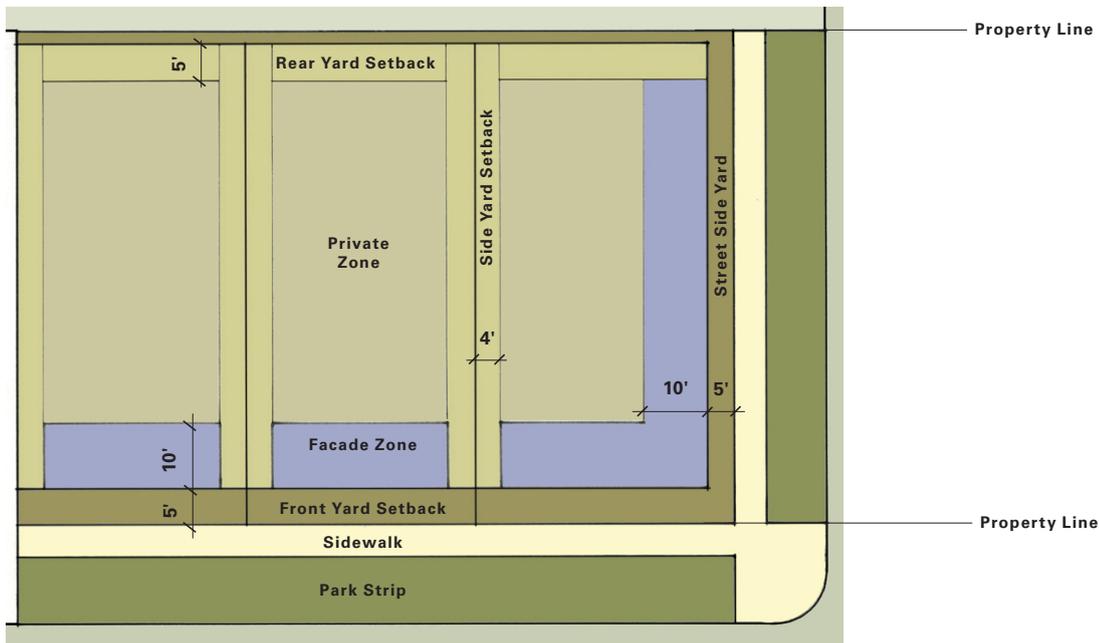


Courtyard Units



Secondary Residential Units

30-FOOT LOT : REAR-LOADED



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 30–40 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

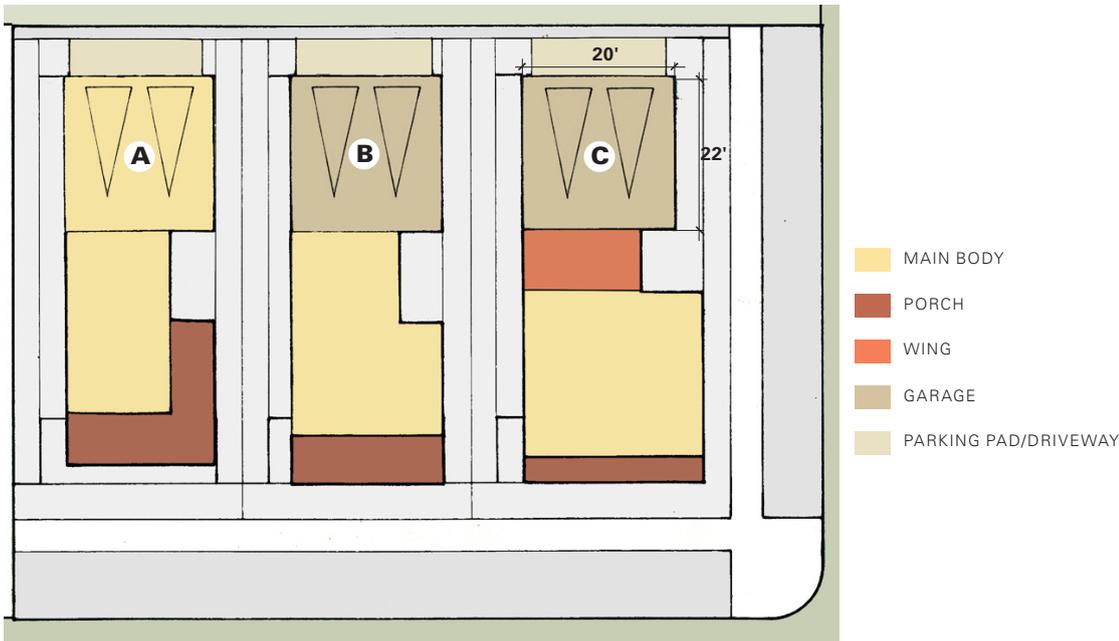
- » Front Yard: 5 feet to the house
- » Street Side Yard: 5 feet to the house and garage
- » Side Yard: 4 feet to the house and garage (must comply with current building code at time of building permit application)

FACADE ZONE

- » All Zones: 10 feet
- » 50% of lot frontage must have building within the Facade Zone on rectangular lots

ENCROACHMENTS INTO
SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Semi-attached (C)
- » Attached (B)
- » Tuck-under (A)

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Garages must be a minimum of 22 feet deep
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)

- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Garage doors shall not face streets
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

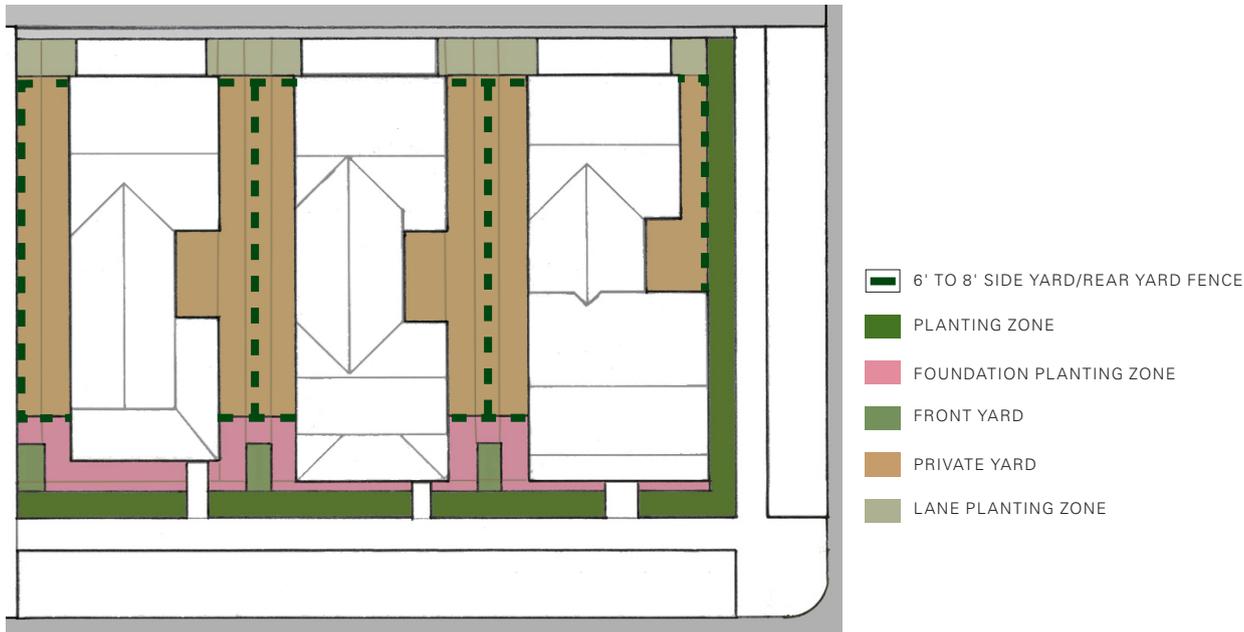
SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is permitted over the garage
- » A minimum of one additional off-street parking space is to be provided for the secondary residential unit (not required to be covered)

FRONT WALKS

- » Site stairs must be within 1 foot of finished grade if constructing cheek walls

30-FOOT LOT : REAR-LOADED



Yard Requirements

FENCE REQUIREMENTS

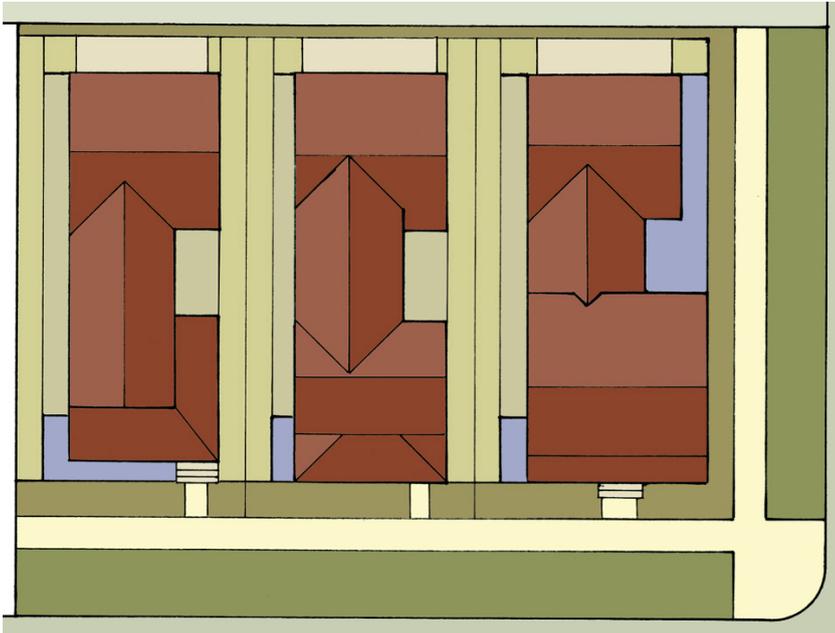
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy. Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Top 2 feet of 6- or 8-foot fence facing streets and/or public space requires change in articulation and 40% opacity

FENCE SETBACKS

- » Rear Yard: minimum 2 feet from lane; 5 feet from rear property line in street side facade zone
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of lots developed:
 - › 30 or fewer lots = 1 floor plan
 - › 31 to 50 lots = 2 floor plans
 - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

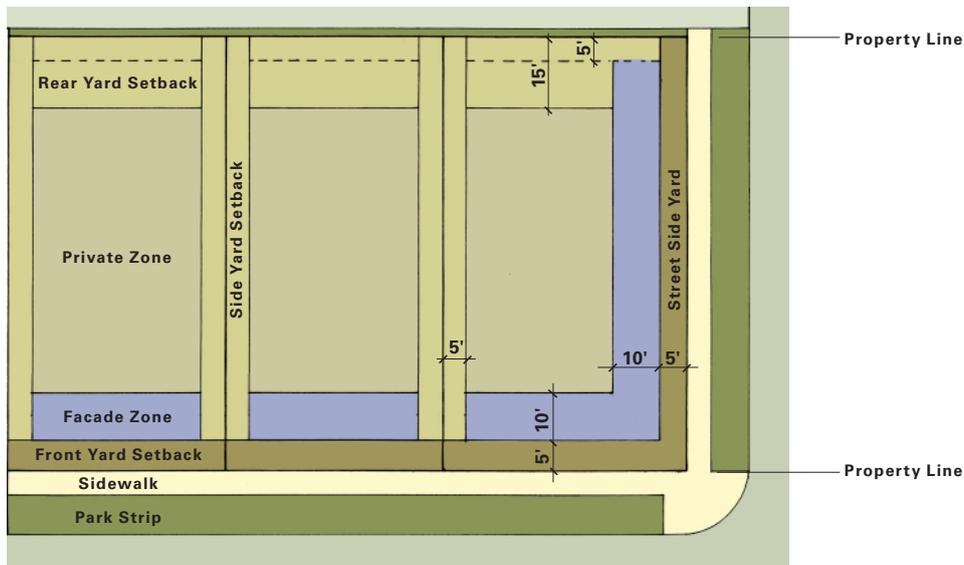
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 - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
 - › exterior siding material
 - › exterior trim
 - › porch
 - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

40-FOOT LOT : REAR-LOADED



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 40–45 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

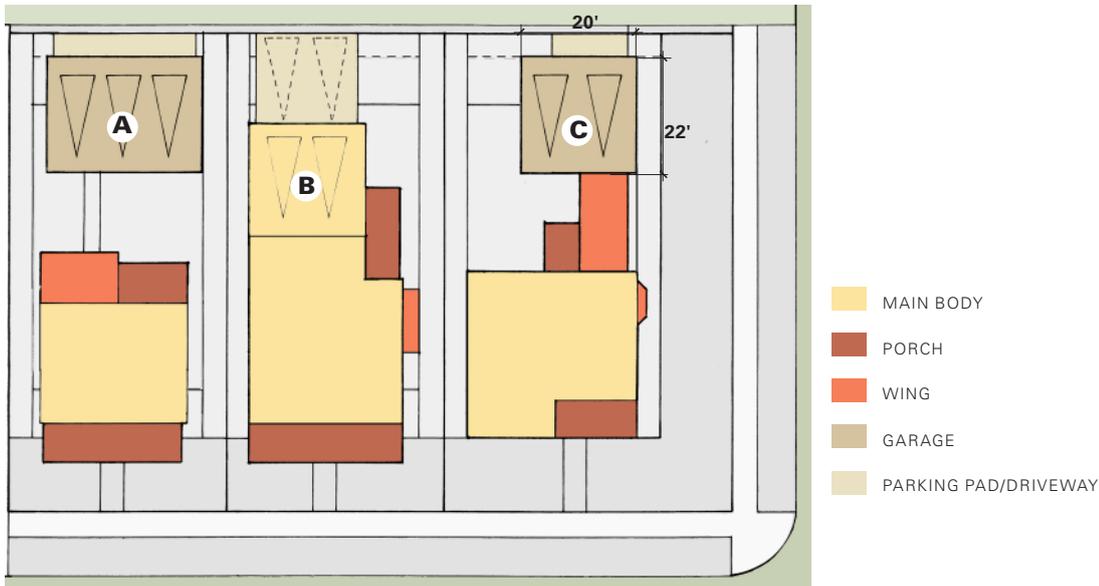
- » Front Yard: 5 feet to the house
- » Street Side Yard: 5 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 15 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

FACADE ZONE

- » All Zones: 10 feet
- » 50% of lot frontage must have building within the Facade Zone on rectangular lots

ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (A)
- » Tuck-under (B)
- » Semi-attached (C)
- » Attached
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Garages must be a minimum of 22 feet deep
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)

- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Garage doors shall not face streets
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

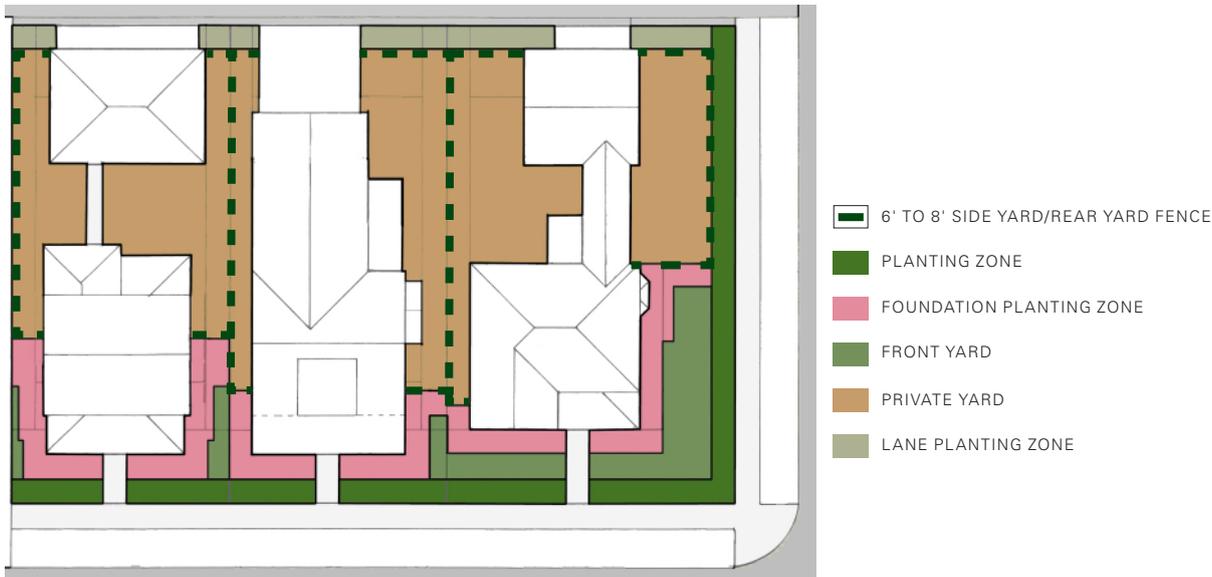
SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is permitted over the garage
- » A minimum of one additional off-street parking space is to be provided for the secondary residential unit (not required to be covered)

FRONT WALKS

- » Site stairs must be within 1 foot of finished grade if constructing cheek walls

40-FOOT LOT : REAR-LOADED



Yard Requirements

FENCE REQUIREMENTS

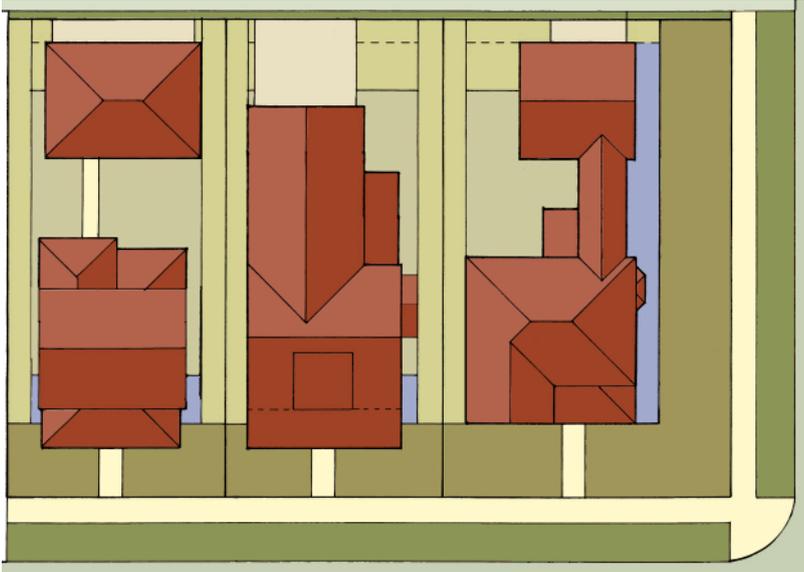
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- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Top 2 feet of 6- or 8-foot fence facing streets and/or public space requires change in articulation and 40% opacity

FENCE SETBACKS

- » Rear Yard: minimum 2 feet from lane; 5 feet from rear property line in street side facade zone
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
 - › 30 or fewer lots = 1 floor plan
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ELEVATION PER PLAN MINIMUM

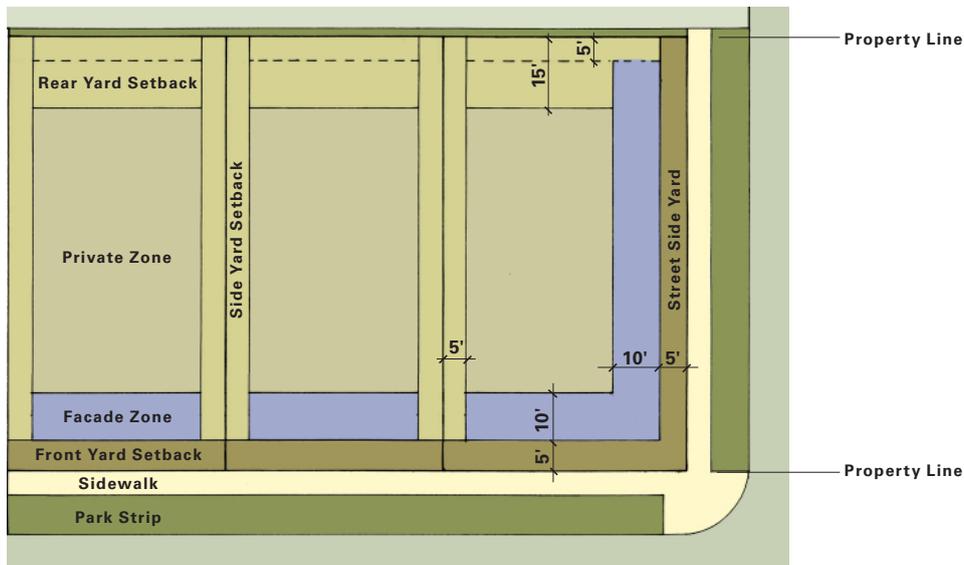
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 - › 30 or fewer lots = 2 elevations
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 - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
 - › exterior siding material
 - › exterior trim
 - › porch
 - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

45-FOOT LOT : REAR-LOADED



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 45–50 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

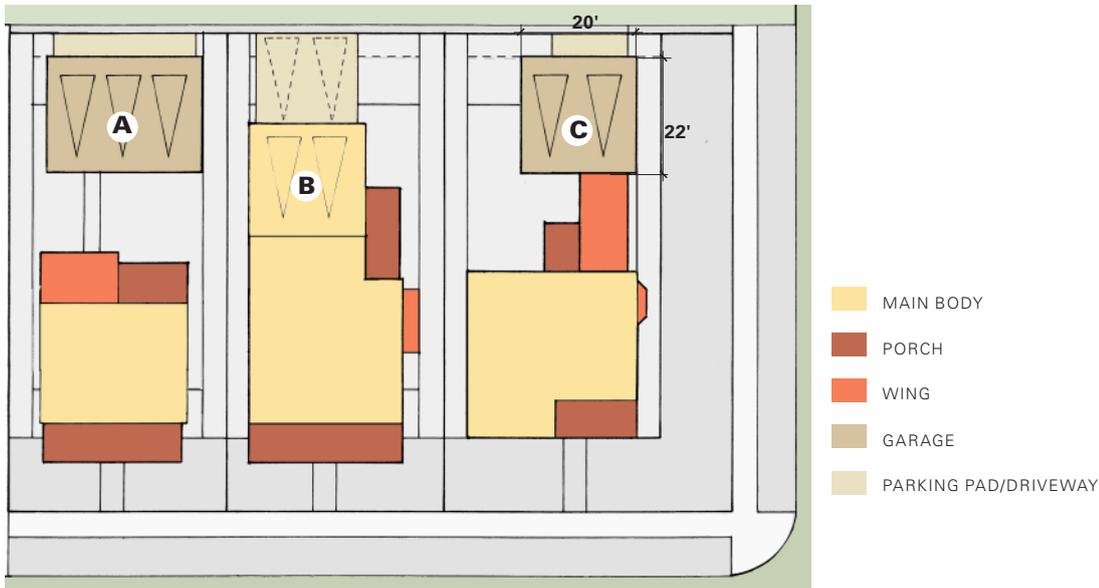
- » Front Yard: 5 feet to the house
- » Street Side Yard: 5 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 15 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

FACADE ZONE

- » All Zones: 10 feet
- » 50% of lot frontage must have building within the Facade Zone on rectangular lots

ENCROACHMENTS INTO
SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-attached (C)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Garages must be a minimum of 22 feet deep
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)

» Provided parking pads shall be a minimum of 9 by 18 feet

- » Garage doors shall not face streets
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

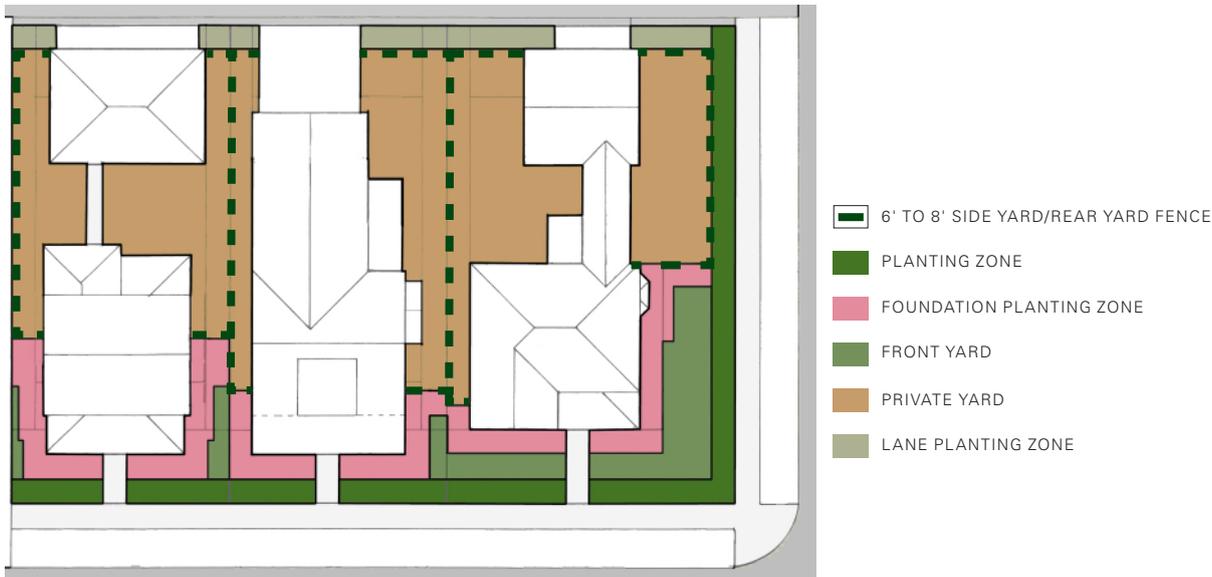
SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is permitted over the garage
- » A minimum of one additional off-street parking space is to be provided for the secondary residential unit (not required to be covered)

FRONT WALKS

- » Site stairs must be within 1 foot of finished grade if constructing cheek walls

45-FOOT LOT : REAR-LOADED



Yard Requirements

FENCE REQUIREMENTS

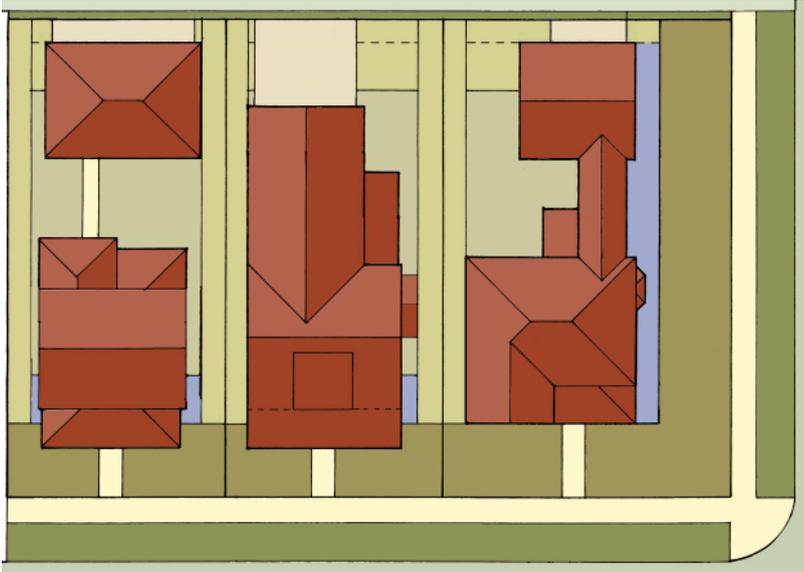
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- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Top 2 feet of 6- or 8-foot fence facing streets and/or public space requires change in articulation and 40% opacity

FENCE SETBACKS

- » Rear Yard: minimum 2 feet from lane; 5 feet from rear property line in street side facade zone
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
 - › 30 or fewer lots = 1 floor plan
 - › 31 to 50 lots = 2 floor plans
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ELEVATION PER PLAN MINIMUM

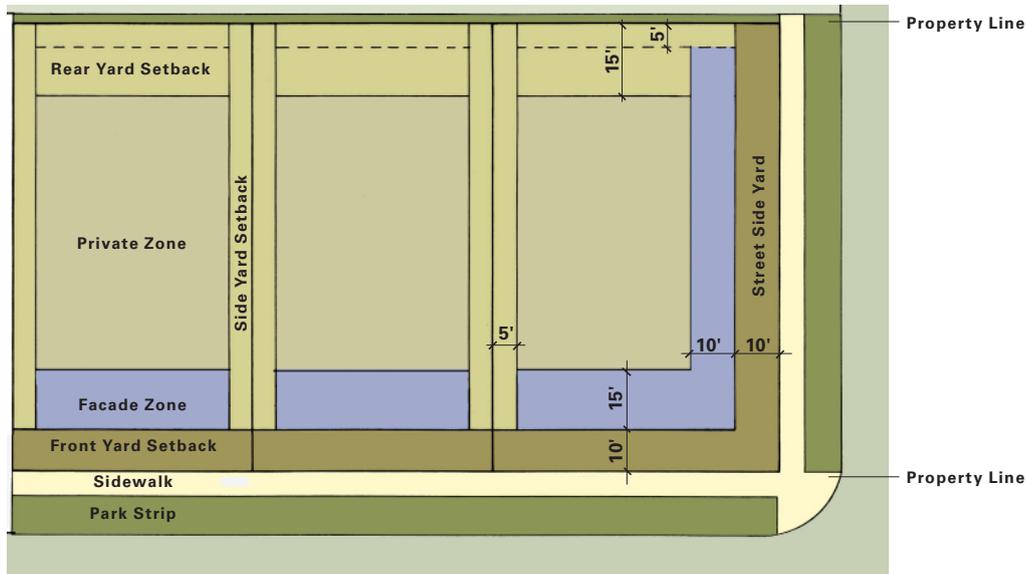
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 - › exterior siding material
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 - › porch
 - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

50-FOOT LOT : REAR-LOADED



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 50–55 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

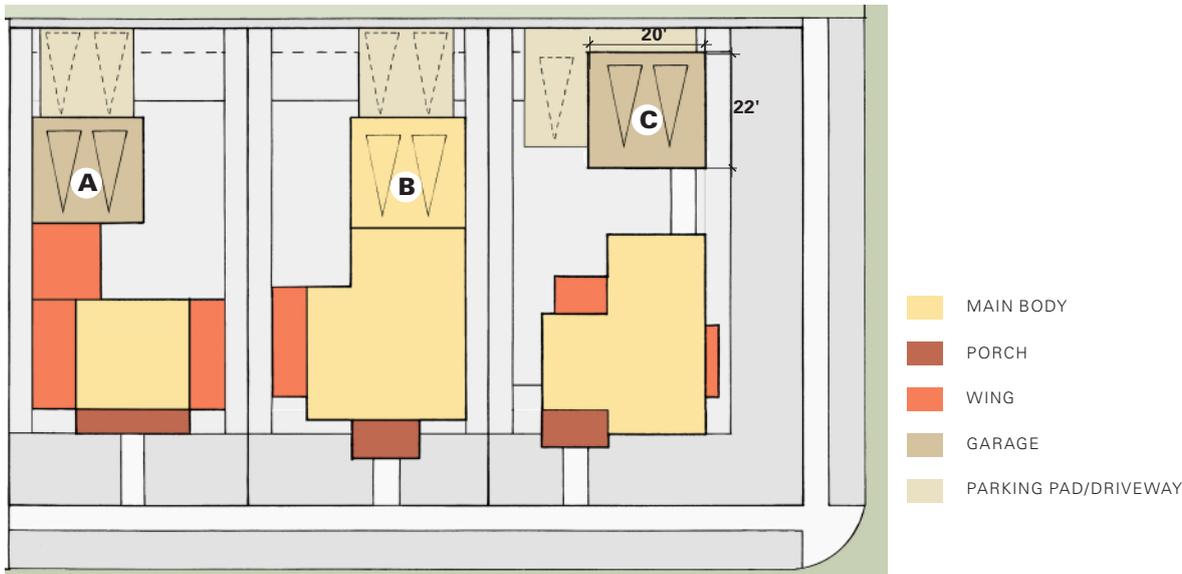
- » Front Yard: 10 feet to the house
- » Street Side Yard: 10 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 15 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

FACADE ZONE

- » Zones: 15 feet front, 10 feet side
- » 50% of lot frontage must have building within the Facade Zone on rectangular lots

ENCROACHMENTS INTO
SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (C)
- » Semi-attached (A)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Garages must be a minimum of 22 feet deep
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)

- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Garage doors shall not face streets
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is permitted over the garage
- » A minimum of one additional off-street parking space is to be provided for the secondary residential unit (not required to be covered)

FRONT WALKS

- » Site stairs must be within 1 foot of finished grade if constructing cheek walls

50-FOOT LOT : REAR-LOADED



Yard Requirements

FENCE REQUIREMENTS

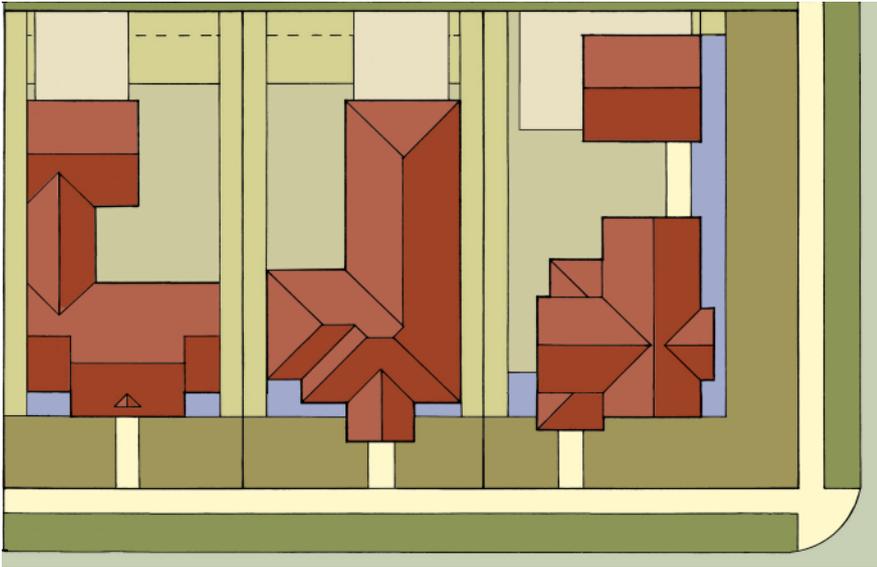
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- » Side and rear yard fencing is encouraged for privacy. Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Top 2 feet of 6- or 8-foot fence facing streets and/or public space requires change in articulation and 40% opacity

FENCE SETBACKS

- » Rear Yard: minimum 2 feet from lane; 5 feet from rear property line in street side facade zone
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
 - › 30 or fewer lots = 1 floor plan
 - › 31 to 50 lots = 2 floor plans
 - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

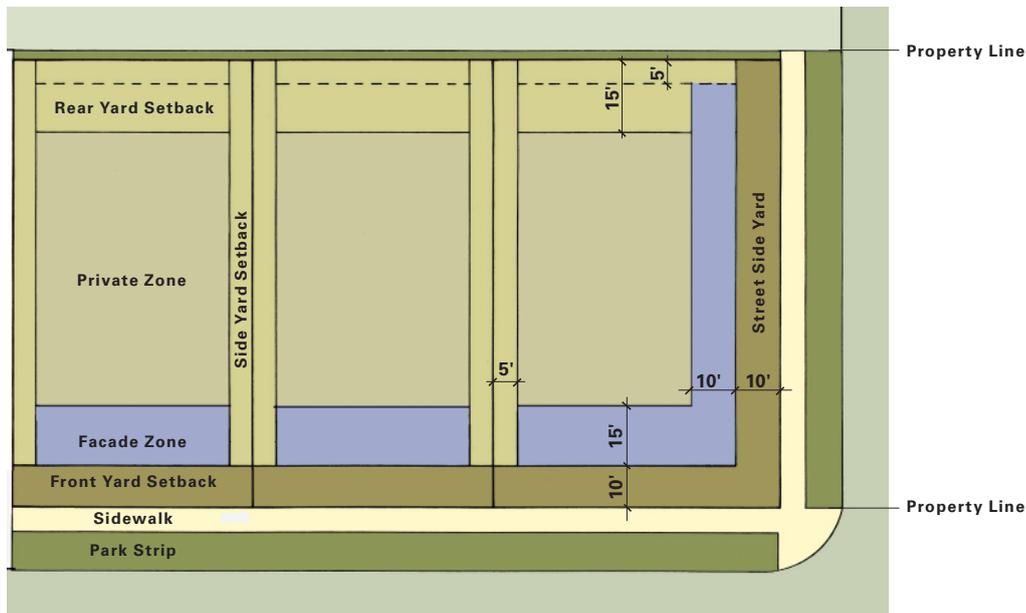
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
 - › 30 or fewer lots = 2 elevations
 - › 31 to 50 lots = 2 elevations
 - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
 - › exterior siding material
 - › exterior trim
 - › porch
 - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

50-FOOT LOT : FRONT-LOADED



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 50–55 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

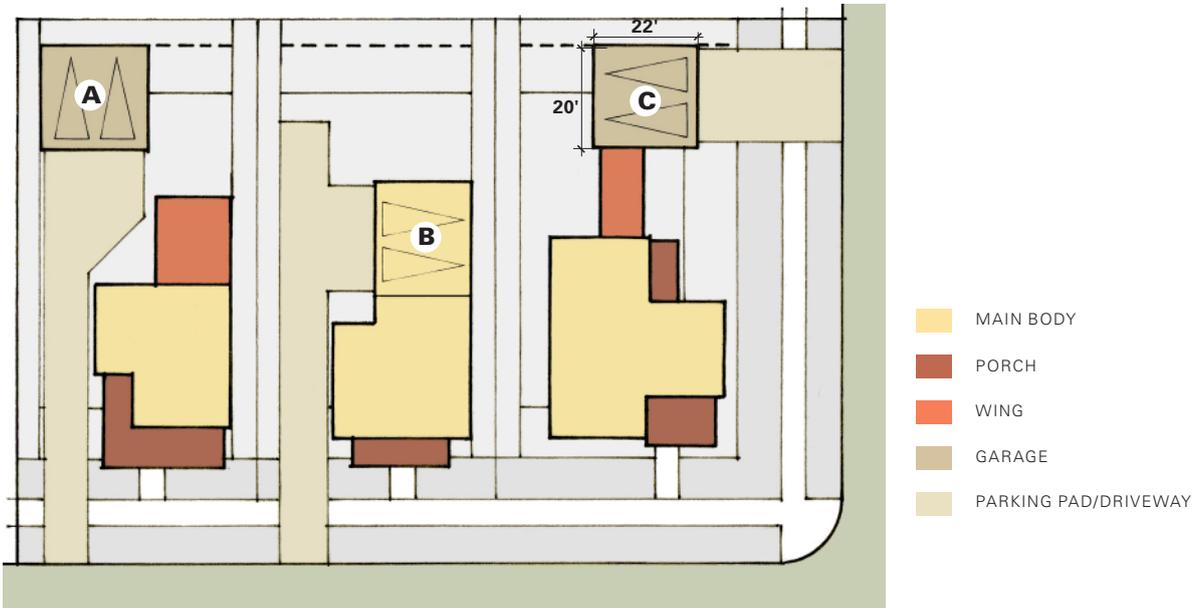
- » Front Yard: 10 feet to the house
- » Street Side Yard: 10 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 15 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

FACADE ZONE

- » Zones: 15 feet front, 10 feet side
- » 50% of lot frontage must have building within the Facade Zone on rectangular lots

ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-attached (C)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Garages must be a minimum of 22 feet deep

» Provided parking pads shall be a minimum of 9 by 18 feet

» Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is permitted over the garage
- » A minimum of one additional off-street parking space is to be provided for the secondary residential unit (not required to be covered)

FRONT WALKS

» Site stairs must be within 1 foot of finished grade if constructing cheek walls

50-FOOT LOT : FRONT-LOADED



Yard Requirements

FENCE REQUIREMENTS

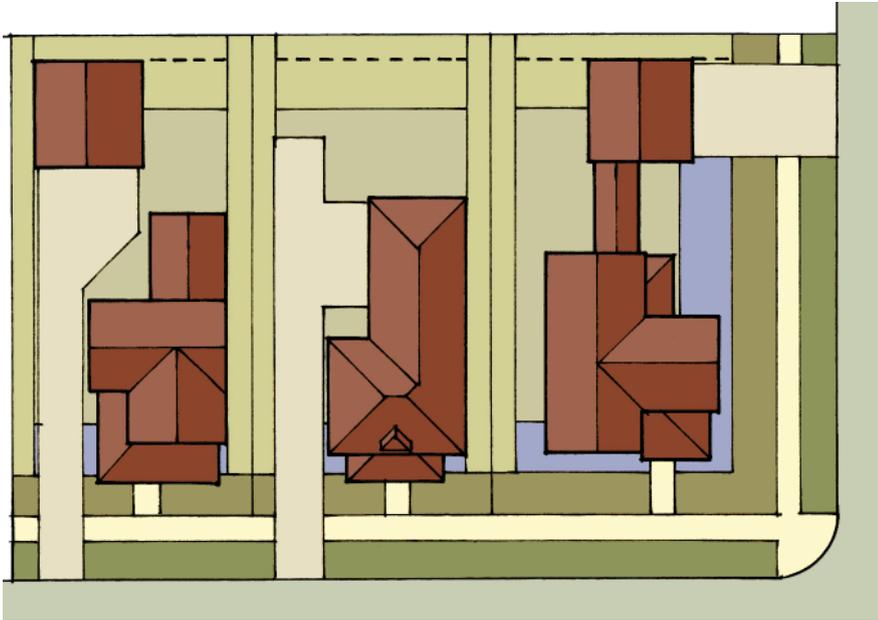
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Top 2 feet of 6- or 8-foot fence facing streets and/or public space requires change in articulation and 40% opacity

FENCE SETBACKS

- » Rear Yard: minimum 2 feet from lane; 5 feet from rear property line in street side facade zone
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
 - › 30 or fewer lots = 1 floor plan
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ELEVATION PER PLAN MINIMUM

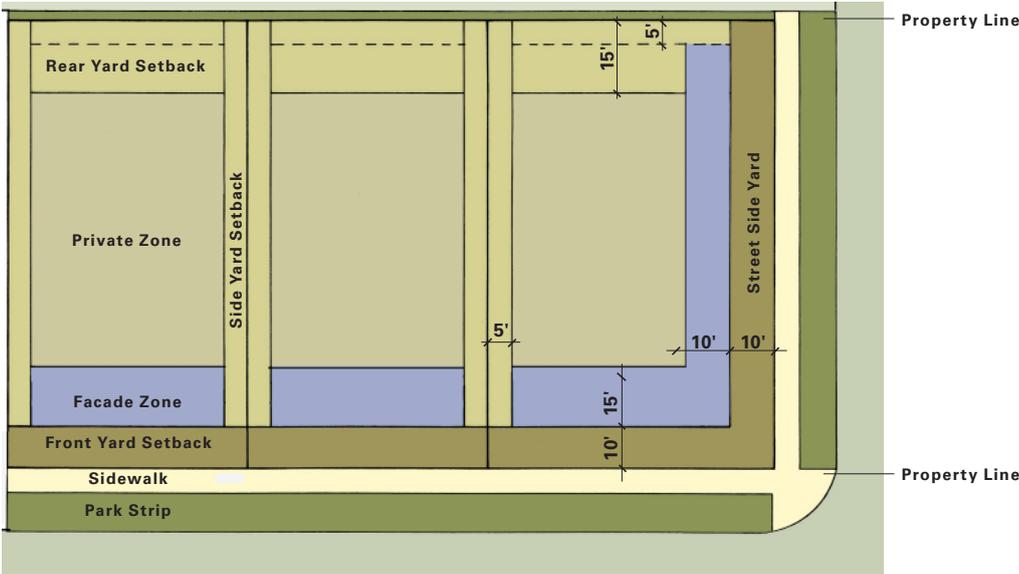
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- » Each elevation is encouraged to have at least one alternative option for each of the following:
 - › exterior siding material
 - › exterior trim
 - › porch
 - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

55-FOOT LOT : REAR-LOADED



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 55–60 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

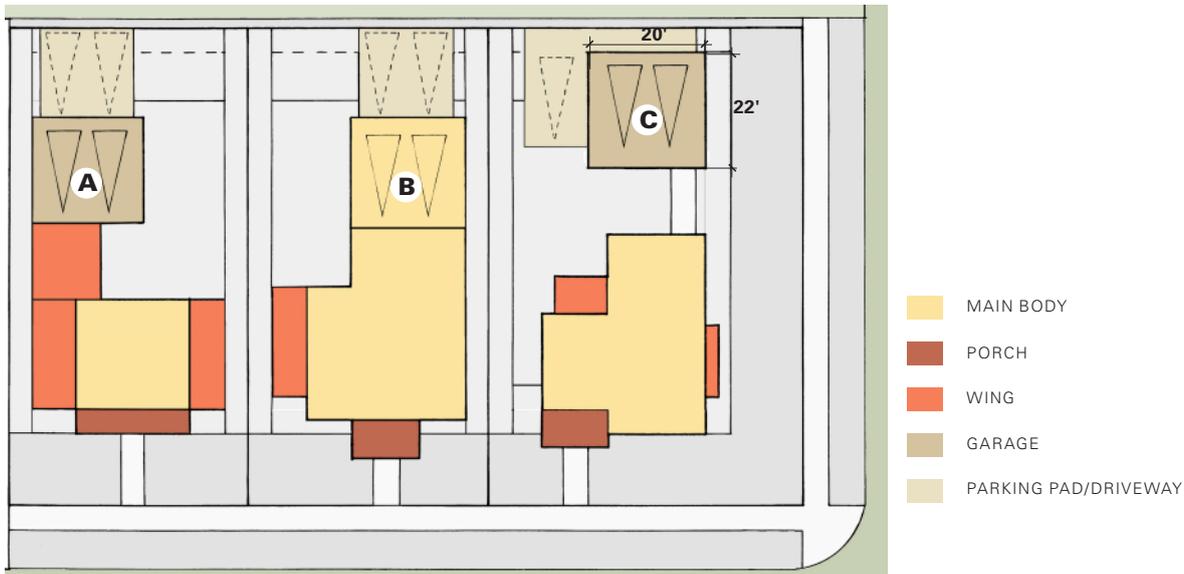
- » Front Yard: 10 feet to the house
- » Street Side Yard: 10 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 15 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

FACADE ZONE

- » Zones: 15 feet front, 10 feet side
- » 50% of lot frontage must have building within the Facade Zone on rectangular lots

ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (C)
- » Semi-attached (A)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Garages must be a minimum of 22 feet deep
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)

- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Garage doors shall not face streets
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is permitted over the garage
- » A minimum of one additional off-street parking space is to be provided for the secondary residential unit (not required to be covered)

FRONT WALKS

- » Site stairs must be within 1 foot of finished grade if constructing cheek walls

55-FOOT LOT : REAR-LOADED



Yard Requirements

FENCE REQUIREMENTS

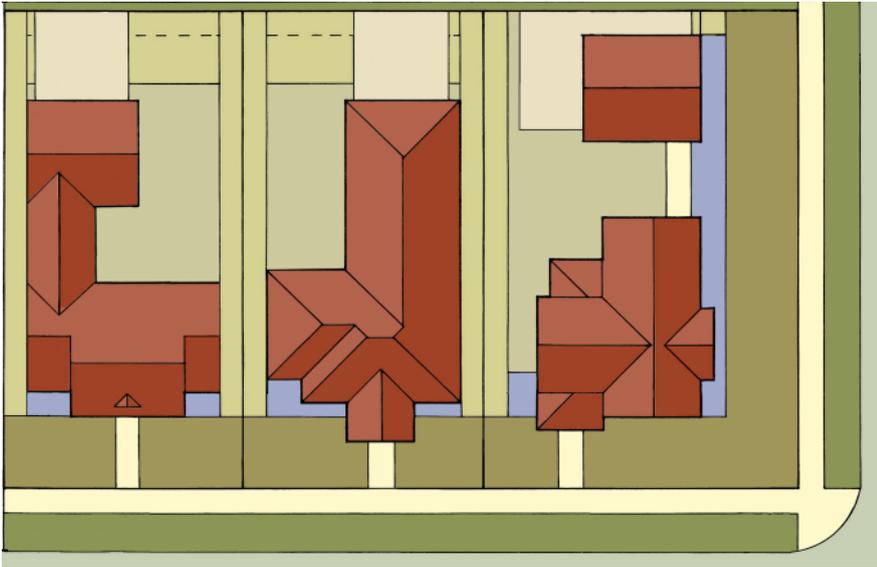
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy. Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Top 2 feet of 6- or 8-foot fence facing streets and/or public space requires change in articulation and 40% opacity

FENCE SETBACKS

- » Rear Yard: minimum 2 feet from lane; 5 feet from rear property line in street side facade zone
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
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ELEVATION PER PLAN MINIMUM

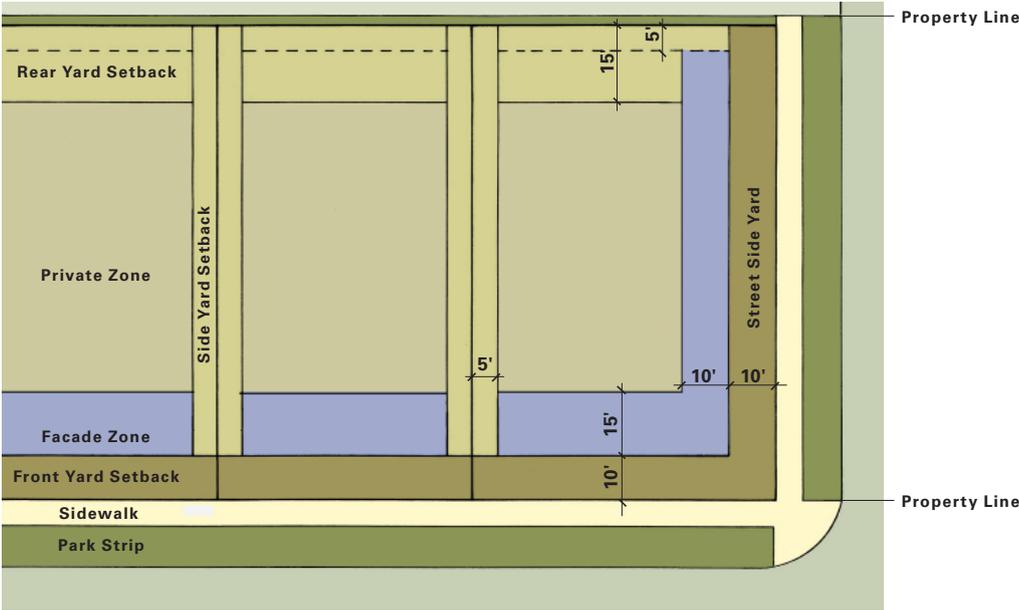
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- » Each elevation is encouraged to have at least one alternative option for each of the following:
 - › exterior siding material
 - › exterior trim
 - › porch
 - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

55-FOOT LOT : FRONT-LOADED



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 55–60 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

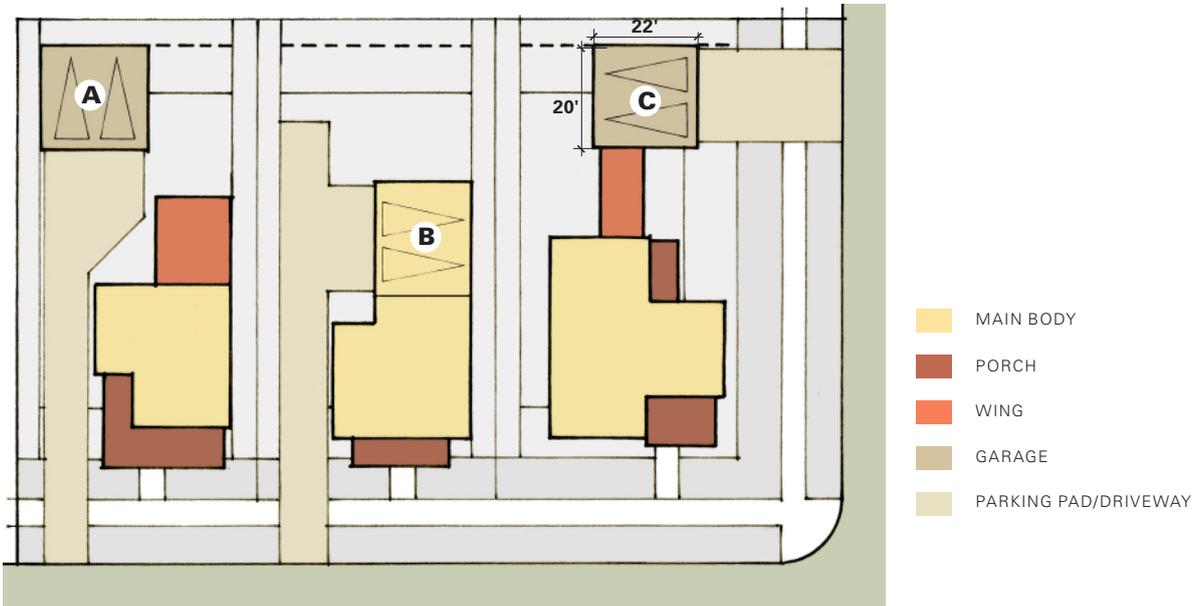
- » Front Yard: 10 feet to the house
- » Street Side Yard: 10 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 15 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

FACADE ZONE

- » Zones: 15 feet front, 10 feet side
- » 50% of lot frontage must have building within the Facade Zone on rectangular lots

ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (C)
- » Semi-attached (A)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Garages must be a minimum of 22 feet deep

» Provided parking pads shall be a minimum of 9 by 18 feet

» Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

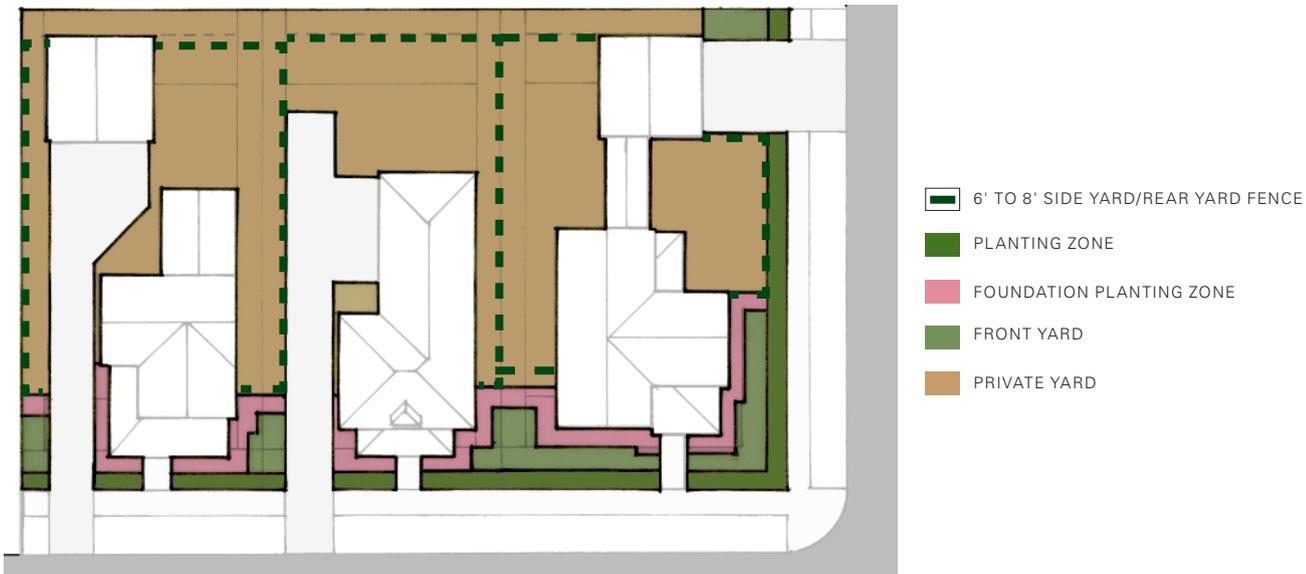
SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is permitted over the garage
- » A minimum of one additional off-street parking space is to be provided for the secondary residential unit (not required to be covered)

FRONT WALKS

» Site stairs must be within 1 foot of finished grade if constructing cheek walls

55-FOOT LOT : FRONT-LOADED



Yard Requirements

FENCE REQUIREMENTS

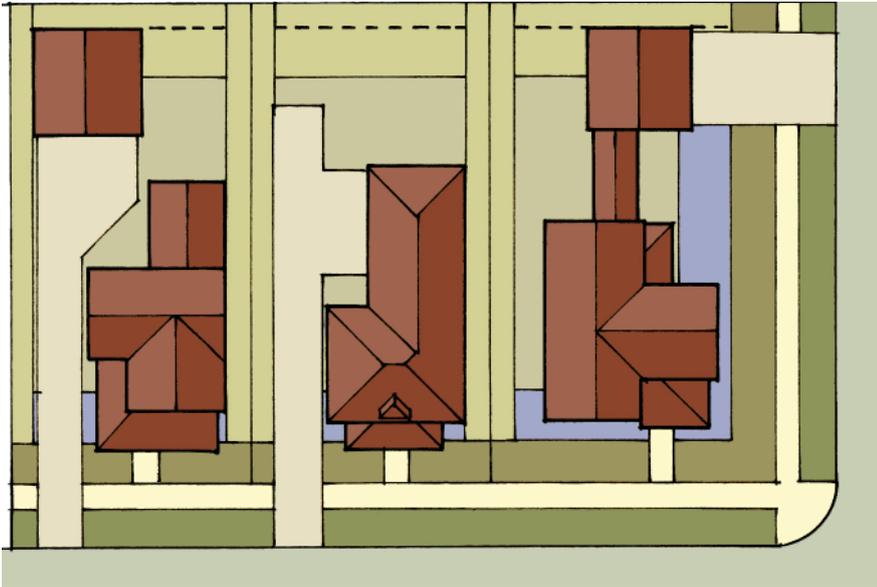
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Top 2 feet of 6- or 8-foot fence facing streets and/or public space requires change in articulation and 40% opacity

FENCE SETBACKS

- » Rear Yard: minimum 2 feet from lane; 5 feet from rear property line in street side facade zone
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
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ELEVATION PER PLAN MINIMUM

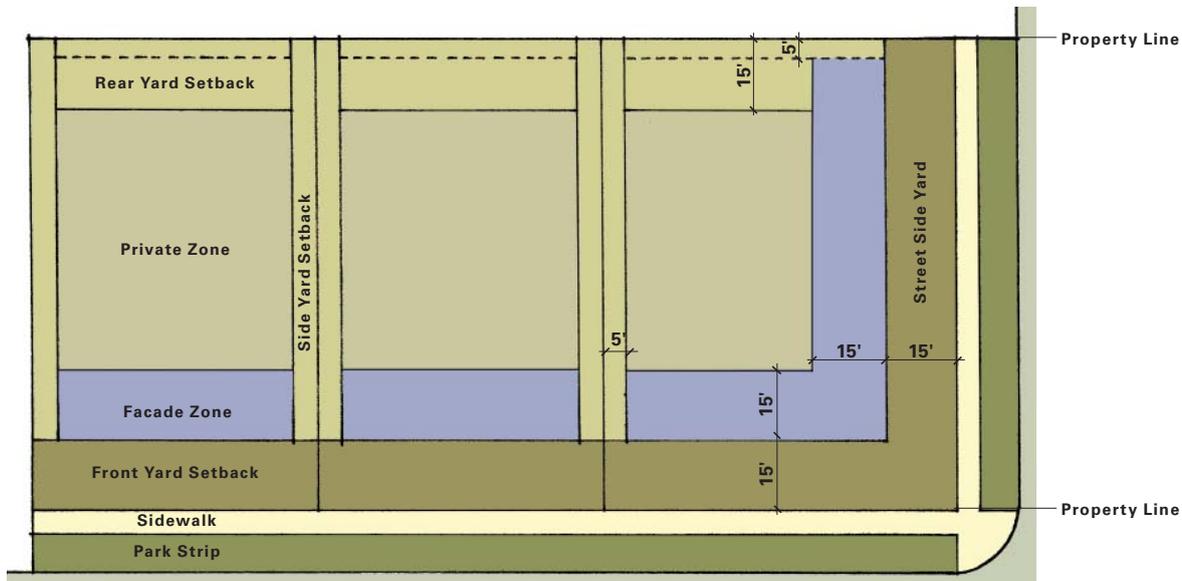
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 - › exterior siding material
 - › exterior trim
 - › porch
 - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

60-FOOT LOT : REAR-LOADED



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 60–65 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

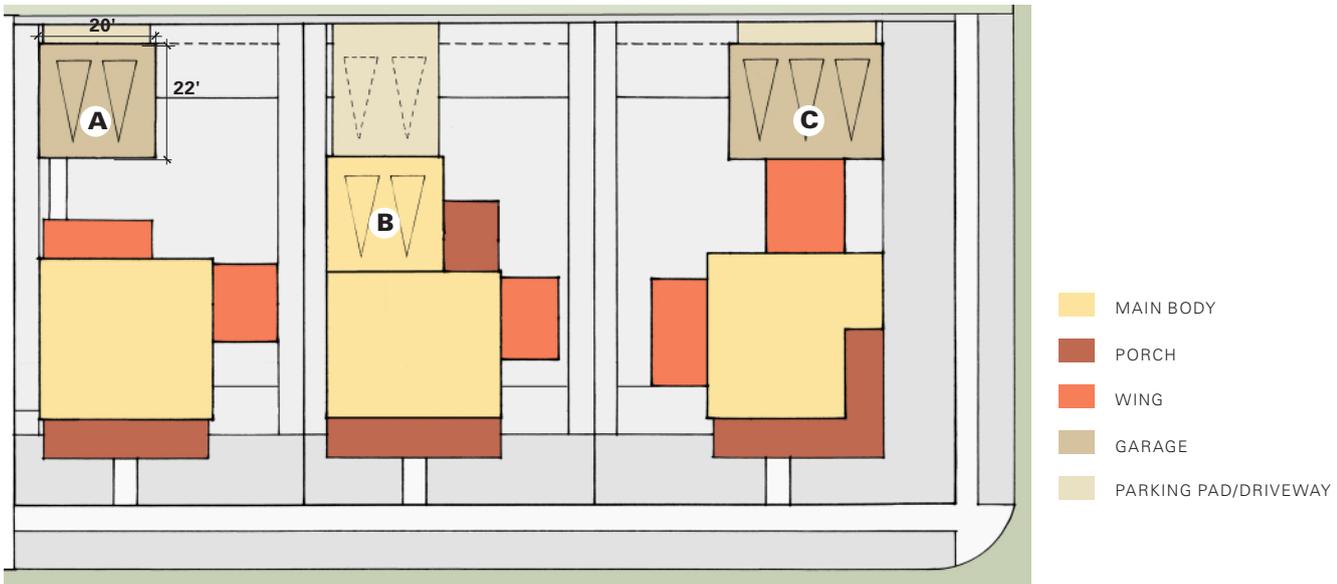
- » Front Yard: 15 feet to the house
- » Street Side Yard: 15 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 15 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

FACADE ZONE

- » All Zones: 15 feet
- » 50% of lot frontage must have building within the Facade Zone on rectangular lots

ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
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- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-attached (C)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Garages must be a minimum of 22 feet deep
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)

» Provided parking pads shall be a minimum of 9 by 18 feet

- » Garage doors shall not face streets
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is permitted over the garage
- » A minimum of one additional off-street parking space is to be provided for the secondary residential unit (not required to be covered)

FRONT WALKS

- » Site stairs must be within 1 foot of finished grade if constructing cheek walls

60-FOOT LOT : REAR-LOADED



Yard Requirements

FENCE REQUIREMENTS

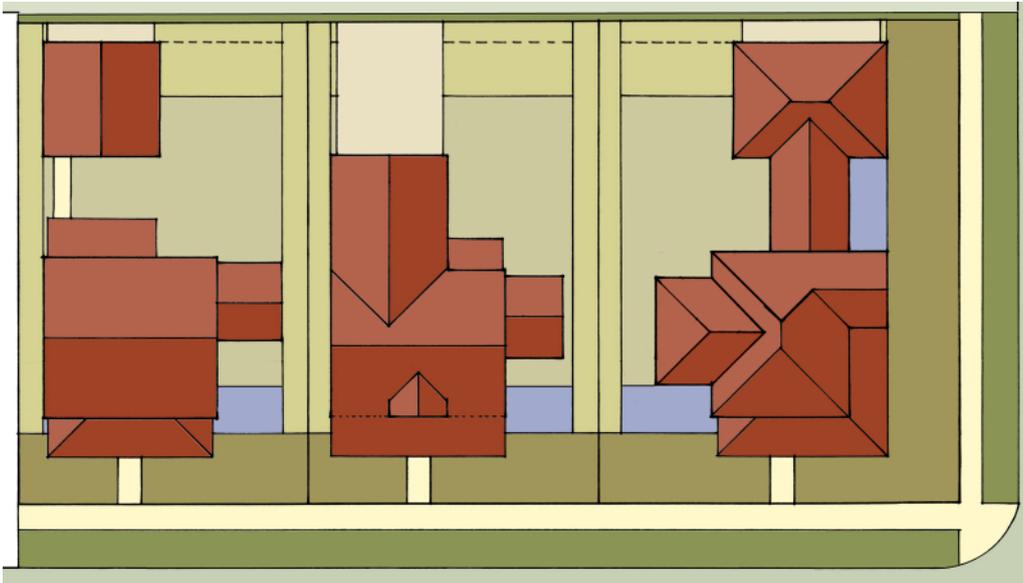
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- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Top 2 feet of 6- or 8-foot fence facing streets and/or public space requires change in articulation and 40% opacity

FENCE SETBACKS

- » Rear Yard: minimum 2 feet from lane; 5 feet from rear property line in street side facade zone
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

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ELEVATION PER PLAN MINIMUM

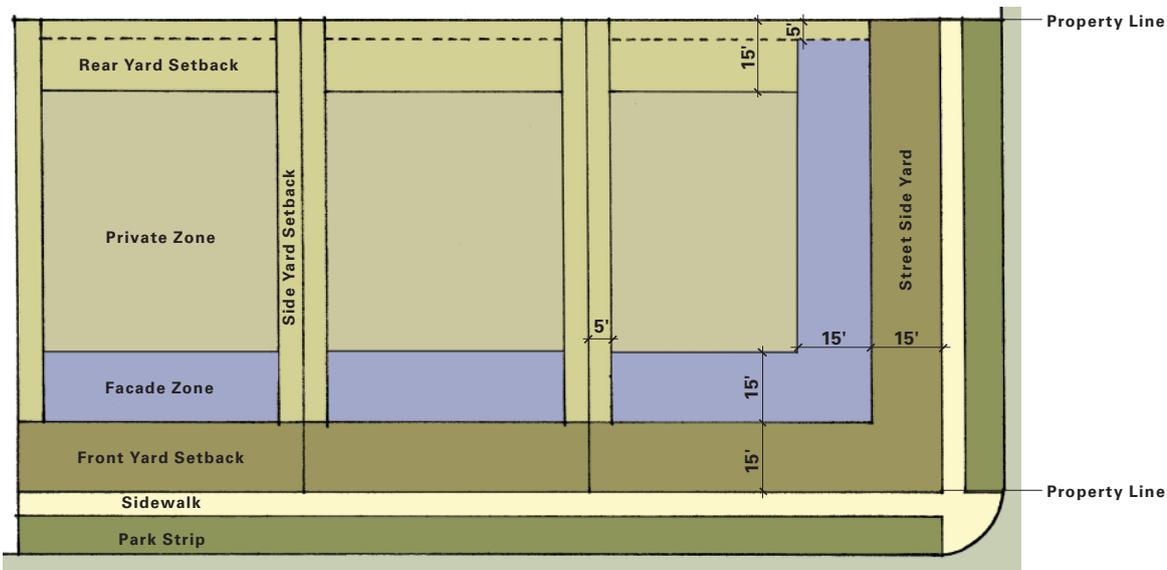
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 - › porch
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GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

60-FOOT LOT : FRONT-LOADED



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 60–65 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

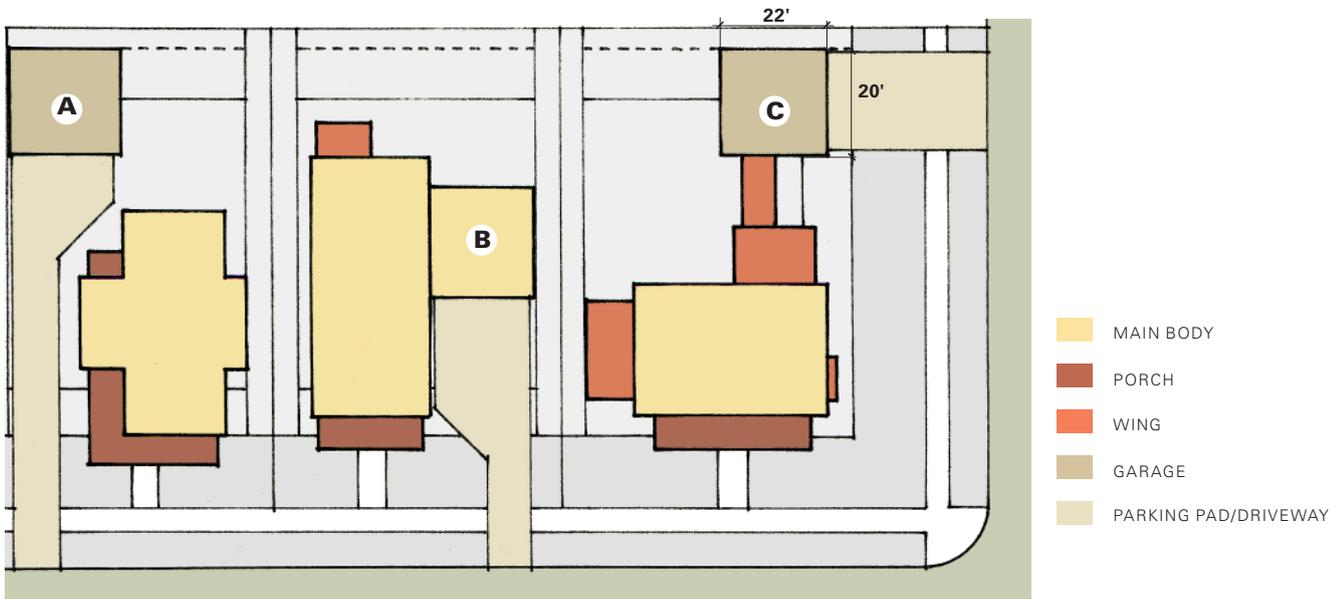
- » Front Yard: 15 feet to the house
- » Street Side Yard: 15 feet to the house and garage
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ENCROACHMENTS INTO SETBACKS

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- » Bay Windows: 2 feet into front yard and street side setbacks only
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FACADE ZONE

- » All Zones: 15 feet
- » 50% of lot frontage must have building within the Facade Zone on rectangular lots



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-attached (C)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Maximum two-car garage may face street side
- » Garages must be a minimum of 22 feet deep

» Street-loaded garages may be a maximum of 45% of the street facing facade

» Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side house elevation

SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is permitted over the garage
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FRONT WALKS

- » Site stairs must be within 1 foot of finished grade if constructing cheek walls

60-FOOT LOT : FRONT-LOADED



Yard Requirements

FENCE REQUIREMENTS

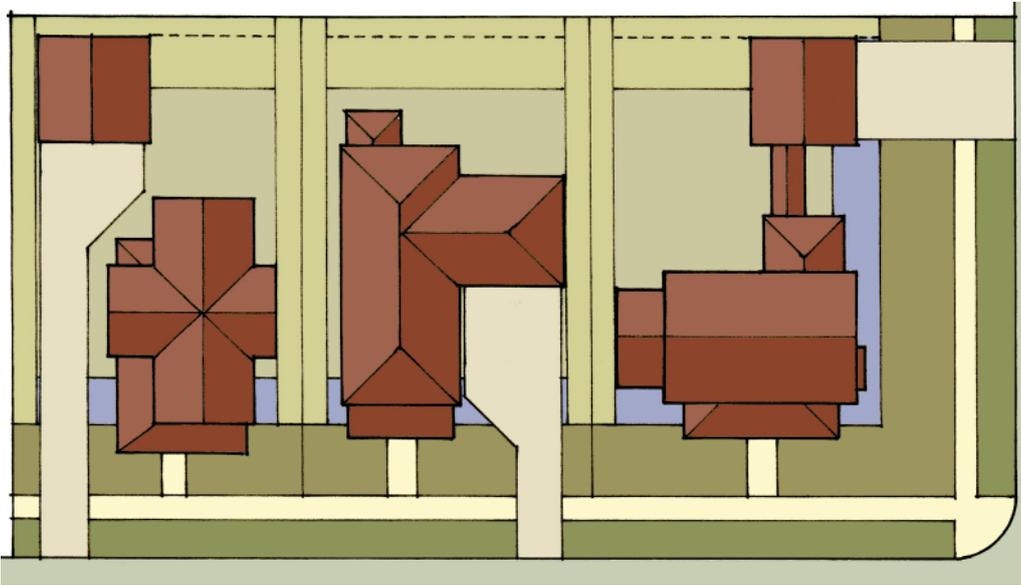
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FENCE SETBACKS

- » Rear Yard: minimum 2 feet from lane; 5 feet from rear property line in street side facade zone
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- » Street Side: 5 feet from walk

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General Requirements

PLAN MINIMUM

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ELEVATION PER PLAN MINIMUM

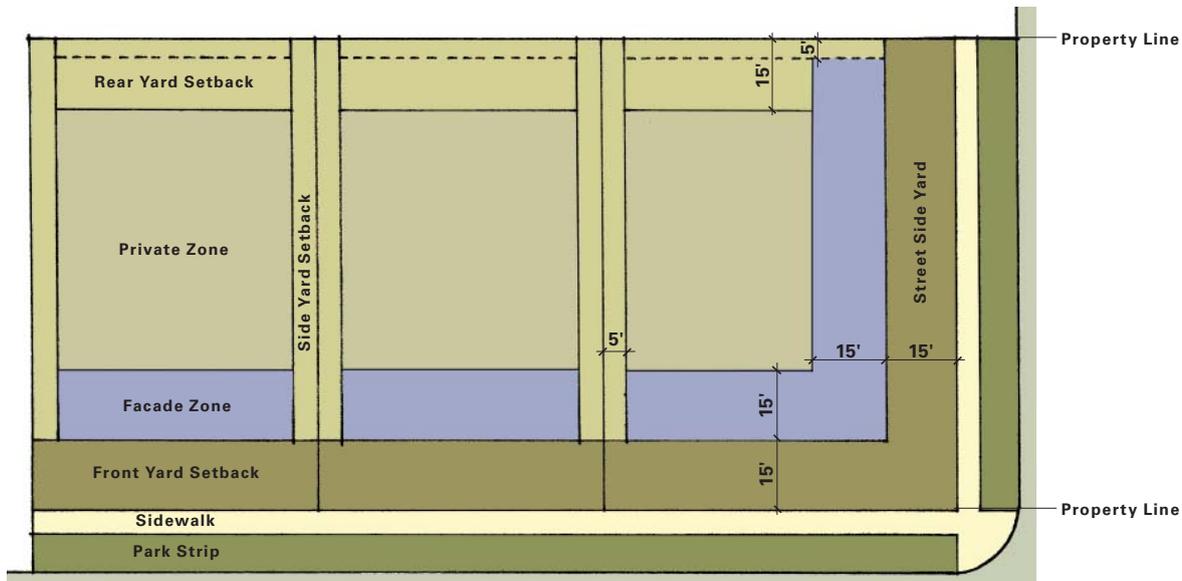
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 - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

65-FOOT LOT : REAR-LOADED



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 65–70 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

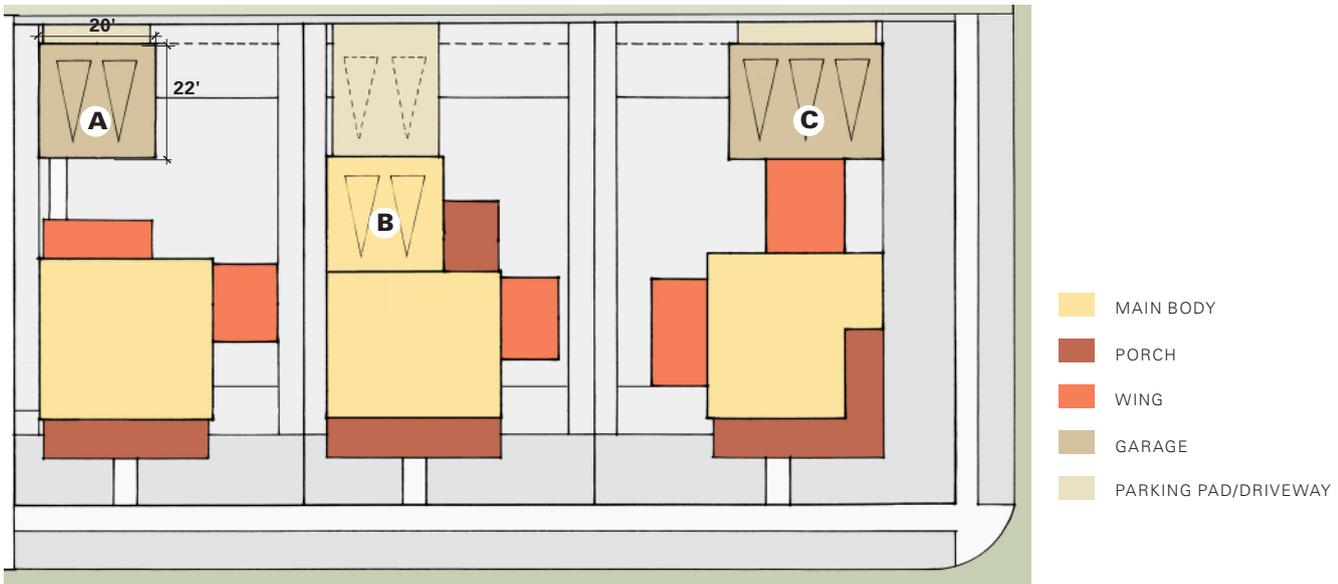
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- » Rear Yard: 15 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

FACADE ZONE

- » All Zones: 15 feet
- » 50% of lot frontage must have building within the Facade Zone on rectangular lots

ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-attached (C)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Garages must be a minimum of 22 feet deep
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)

» Provided parking pads shall be a minimum of 9 by 18 feet

- » Garage doors shall not face streets
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side elevation

SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is permitted over the garage
- » A minimum of one additional off-street parking space is to be provided for the secondary residential unit (not required to be covered)

FRONT WALKS

- » Site stairs must be within 1 foot of finished grade if constructing cheek walls

65-FOOT LOT : REAR-LOADED



Yard Requirements

FENCE REQUIREMENTS

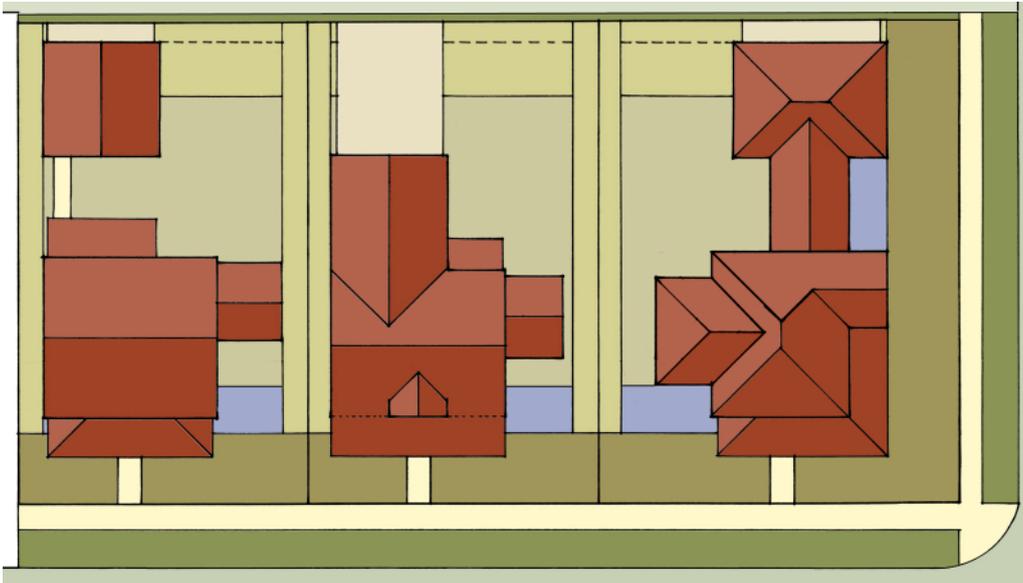
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- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Top 2 feet of 6- or 8-foot fence facing streets and/or public space requires change in articulation and 40% opacity

FENCE SETBACKS

- » Rear Yard: minimum 2 feet from lane; 5 feet from rear property line in street side facade zone
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
 - › 30 or fewer lots = 1 floor plan
 - › 31 to 50 lots = 2 floor plans
 - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

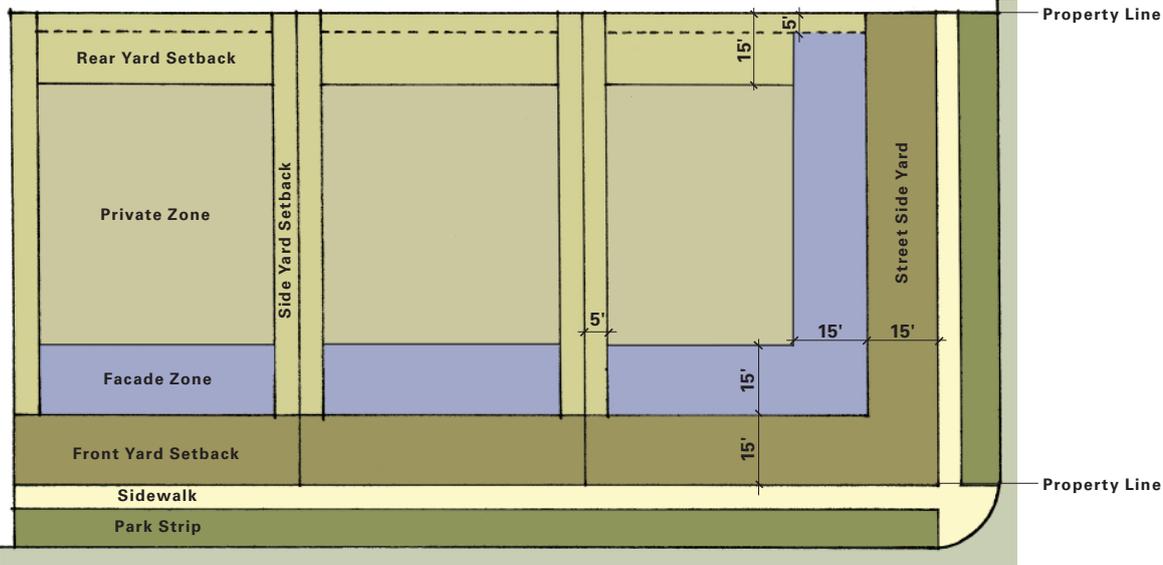
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
 - › 30 or fewer lots = 2 elevations
 - › 31 to 50 lots = 2 elevations
 - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
 - › exterior siding material
 - › exterior trim
 - › porch
 - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

65-FOOT LOT : FRONT-LOADED



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 65–70 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

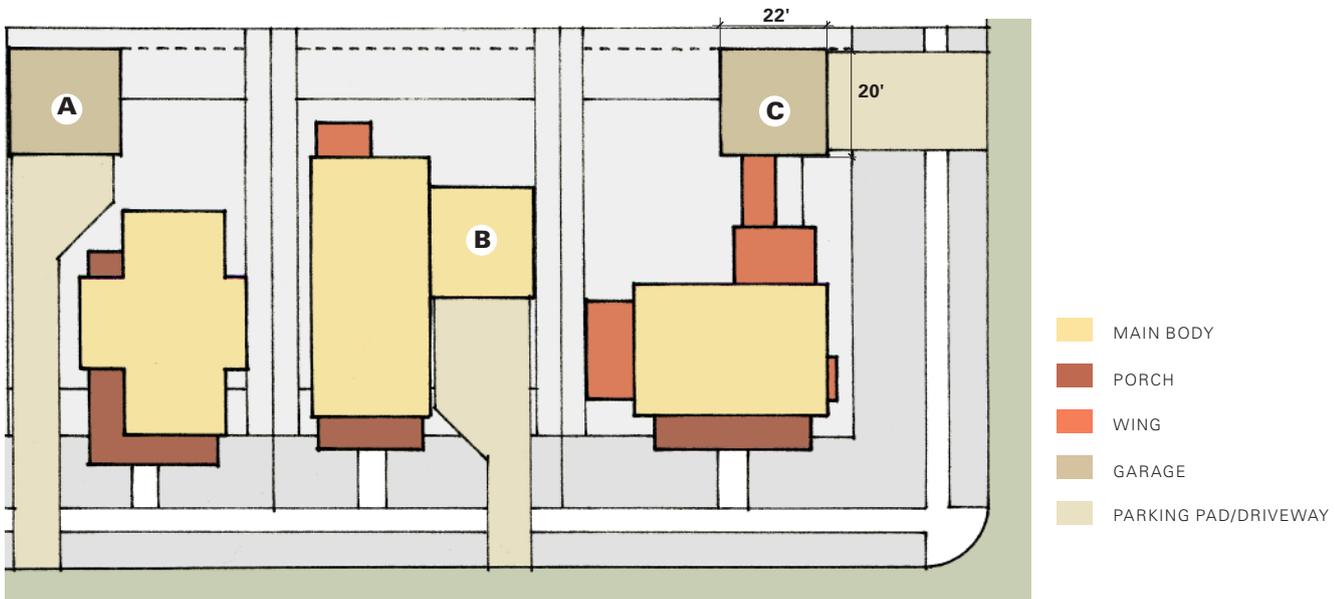
- » Front Yard: 15 feet to the house
- » Street Side Yard: 15 feet to the house and garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 15 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only

FACADE ZONE

- » All Zones: 15 feet
- » 50% of lot frontage must have building within the Facade Zone on rectangular lots



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-attached (C)
- » Attached
- » Tuck-under (B)
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Maximum two-car garage may face street side
- » Garages must be a minimum of 22 feet deep

» Street-loaded garages may be a maximum of 45% of the street facing facade

» Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side house elevation

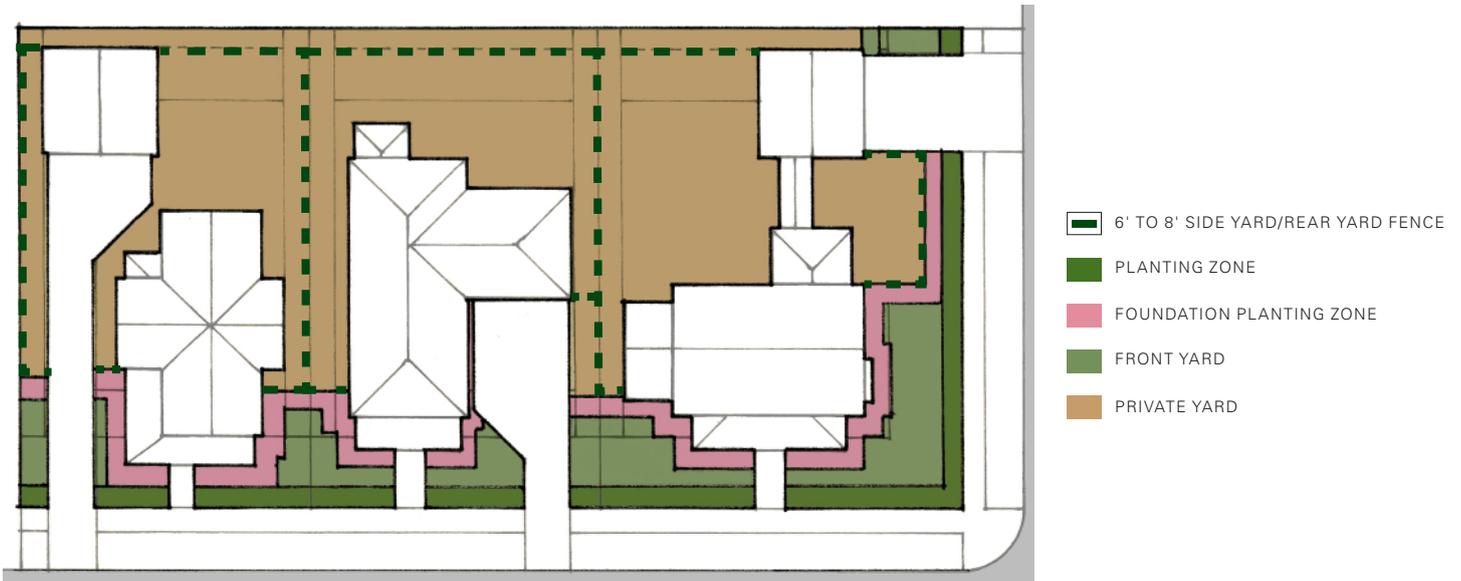
SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is permitted over the garage
- » A minimum of one additional off-street parking space is to be provided for the secondary residential unit (not required to be covered)

FRONT WALKS

» Site stairs must be within 1 foot of finished grade if constructing cheek walls

65-FOOT LOT : FRONT-LOADED



Yard Requirements

FENCE REQUIREMENTS

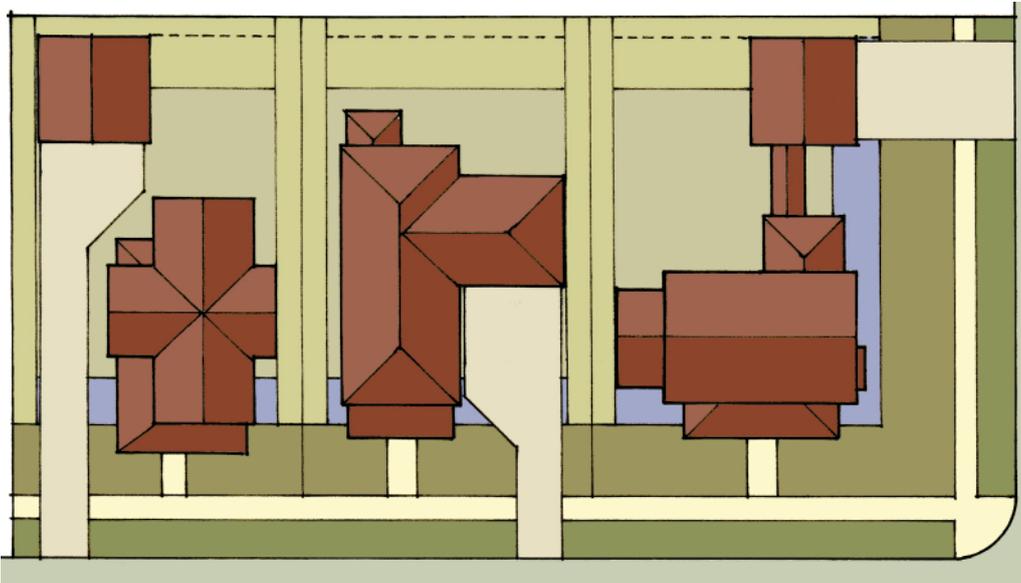
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Top 2 feet of 6- or 8-foot fence facing streets and/or public space requires change in articulation and 40% opacity

FENCE SETBACKS

- » Rear Yard: minimum 2 feet from lane; 5 feet from rear property line in street side facade zone
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
 - › 30 or fewer lots = 1 floor plan
 - › 31 to 50 lots = 2 floor plans
 - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

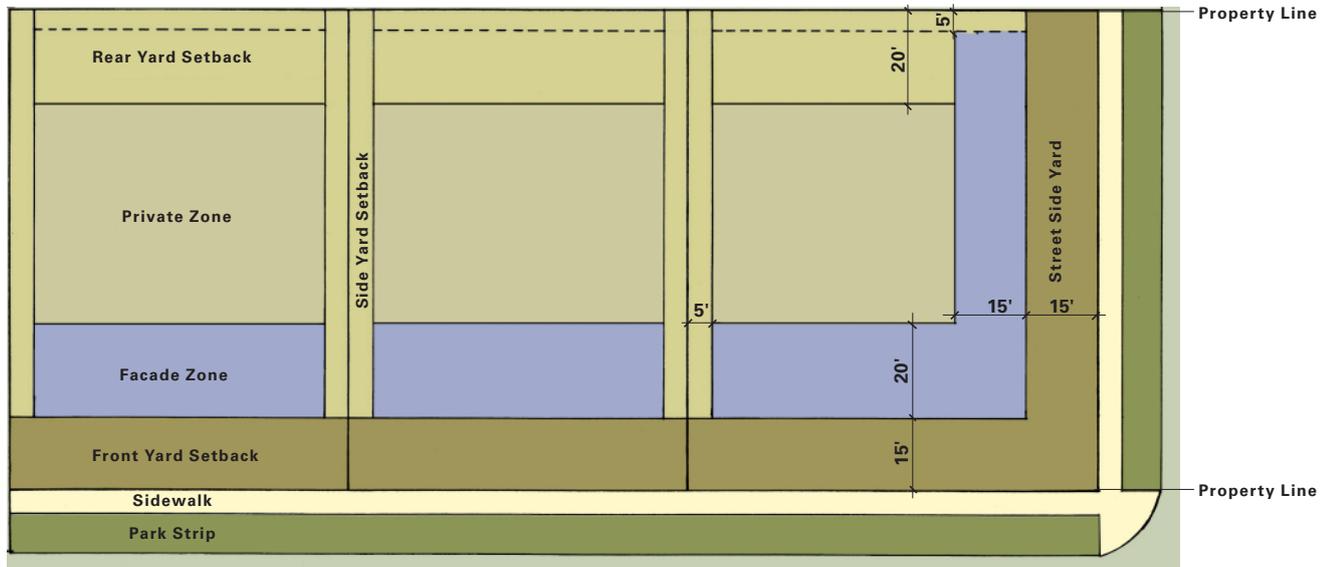
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
 - › 30 or fewer lots = 2 elevations
 - › 31 to 50 lots = 2 elevations
 - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
 - › exterior siding material
 - › exterior trim
 - › porch
 - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

70-FOOT LOT : FRONT-LOADED



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 70–80 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

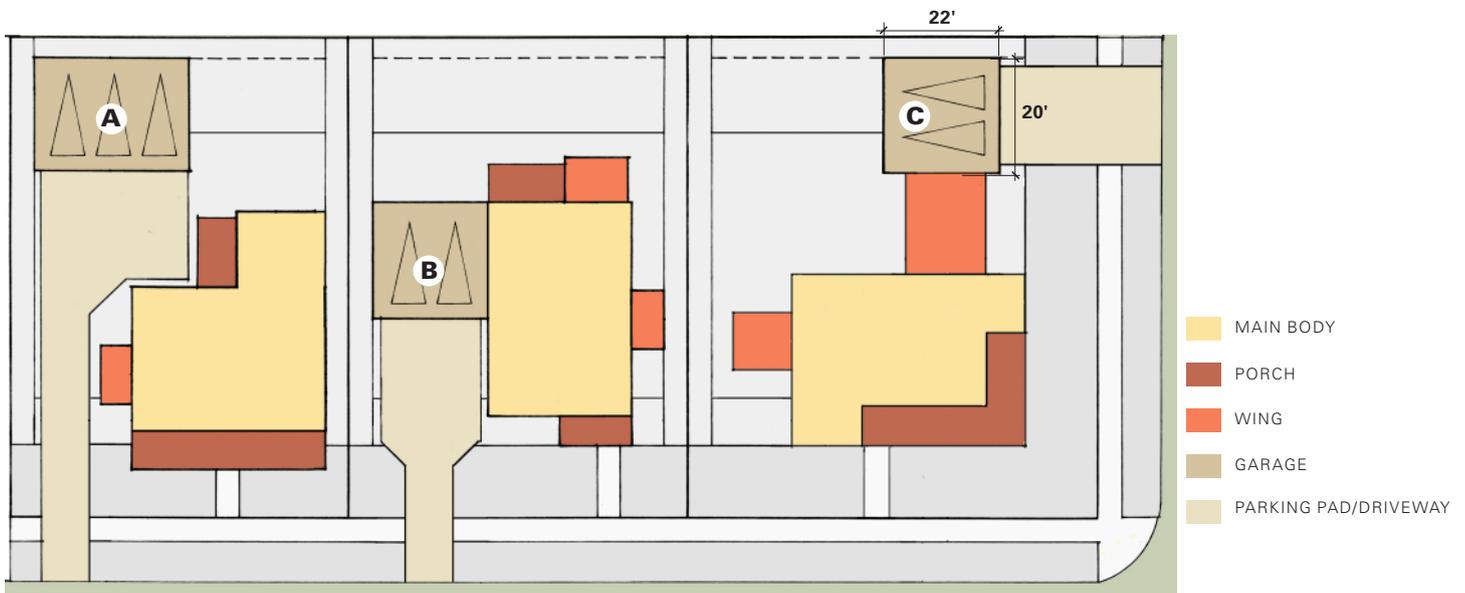
- » Front Yard: 15 feet to the house; 5 feet behind front facade to street-facing attached garage; no required setback if garage doors face side yard
- » Street Side Yard: 15 feet to the house; 20 feet to the garage
- » Side Yard: 5 feet to the house and garage
- » Rear Yard: 20 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only

FACADE ZONE

- » Zones: 20 feet front, 15 feet side
- » 30% of lot frontage must have building within the Facade Zone on rectangular lots



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-attached (C)
- » Attached (B)
- » Tuck-under
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Maximum two-car garage may face street side
- » Garages must be a minimum of 22 feet deep

» Street-loaded garages may be a maximum of 45% of the street facing facade

» Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side house elevation

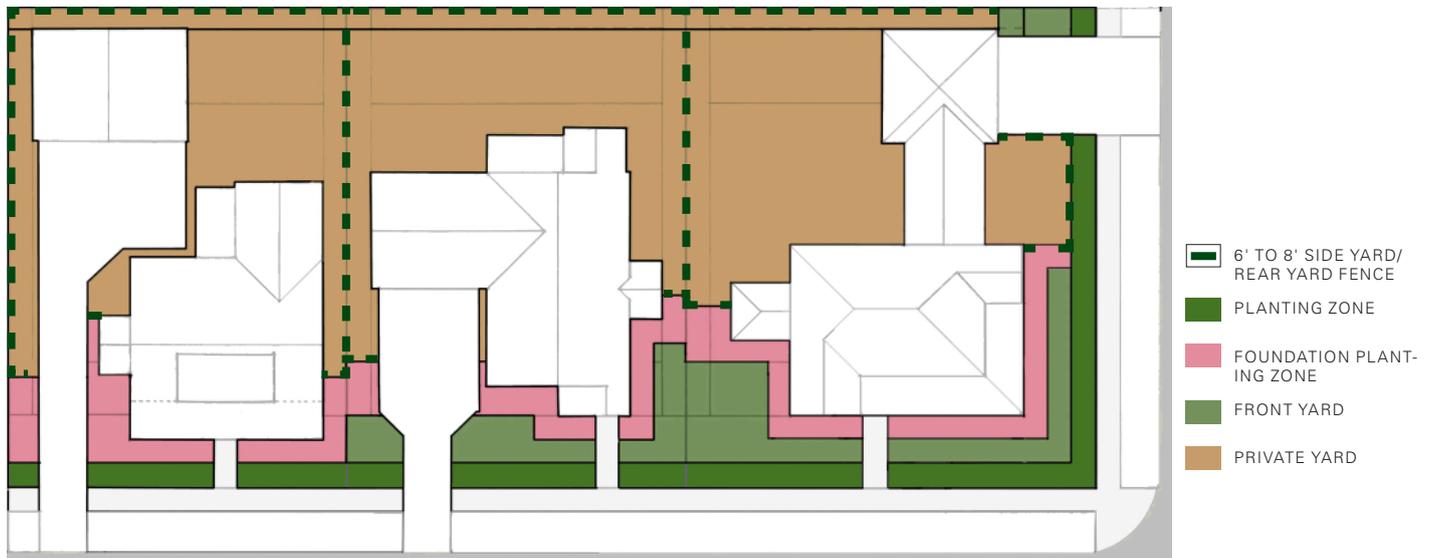
SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is permitted over the garage
- » A minimum of one additional off-street parking space is to be provided for the secondary residential unit (not required to be covered)

FRONT WALKS

» Site stairs must be within 1 foot of finished grade if constructing cheek walls

70-FOOT LOT : FRONT-LOADED



Yard Requirements

FENCE REQUIREMENTS

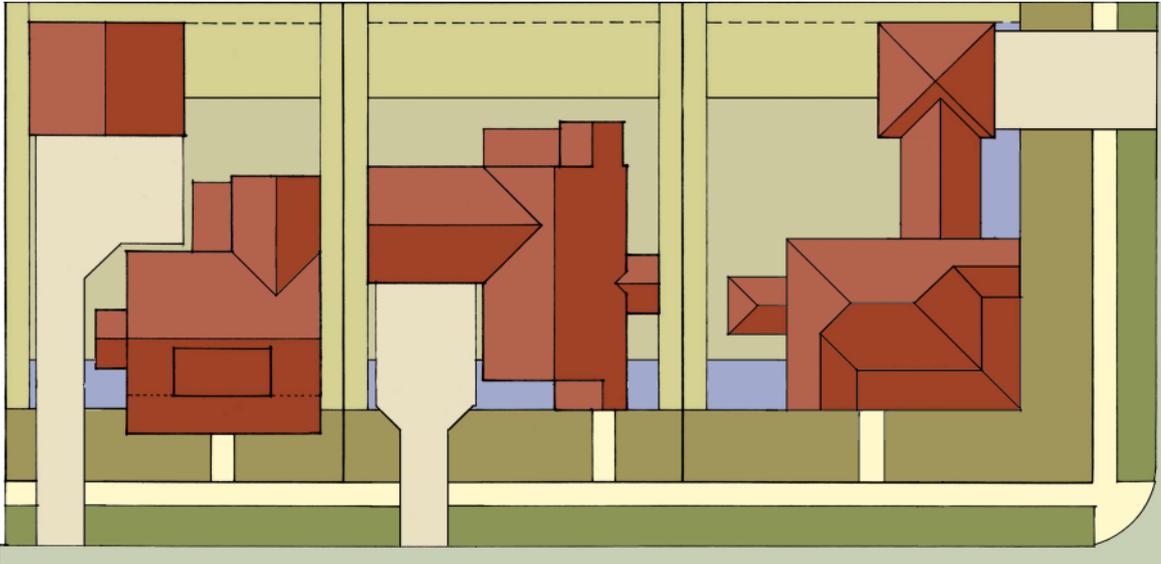
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy. Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Top 2 feet of 6- or 8-foot fence facing streets and/or public space requires change in articulation and 40% opacity

FENCE SETBACKS

- » Rear Yard: minimum 2 feet from lane; 5 feet from rear property line in street side facade zone
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
 - › 30 or fewer lots = 1 floor plan
 - › 31 to 50 lots = 2 floor plans
 - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

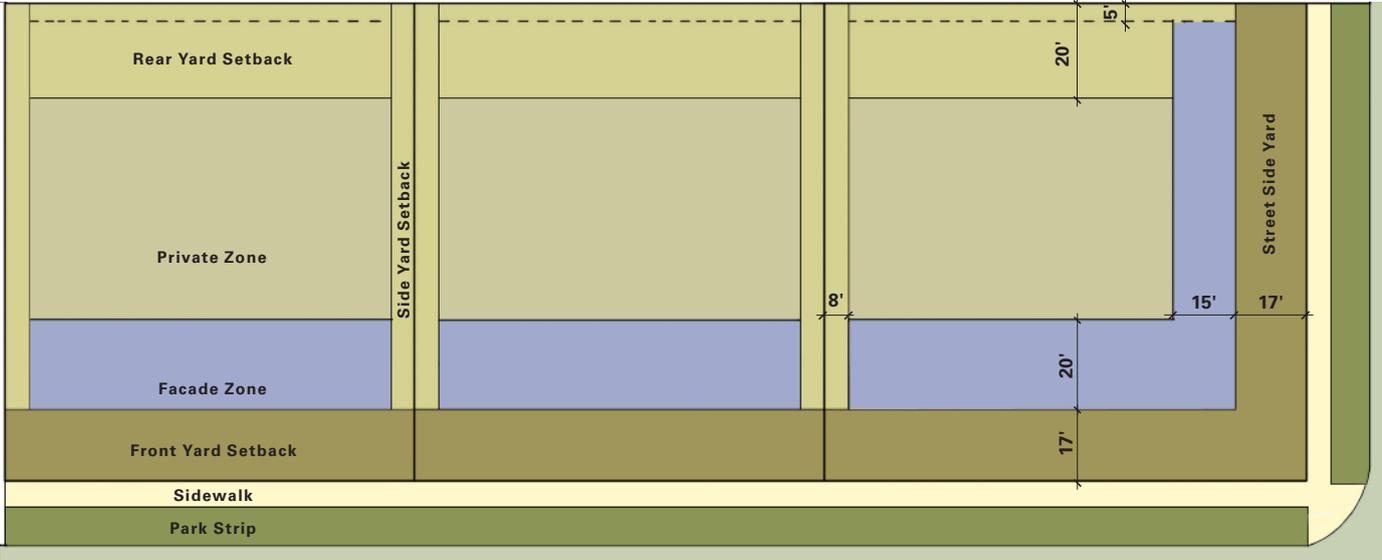
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
 - › 30 or fewer lots = 2 elevations
 - › 31 to 50 lots = 2 elevations
 - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
 - › exterior siding material
 - › exterior trim
 - › porch
 - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

80-FOOT LOT : FRONT-LOADED



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 80–100 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

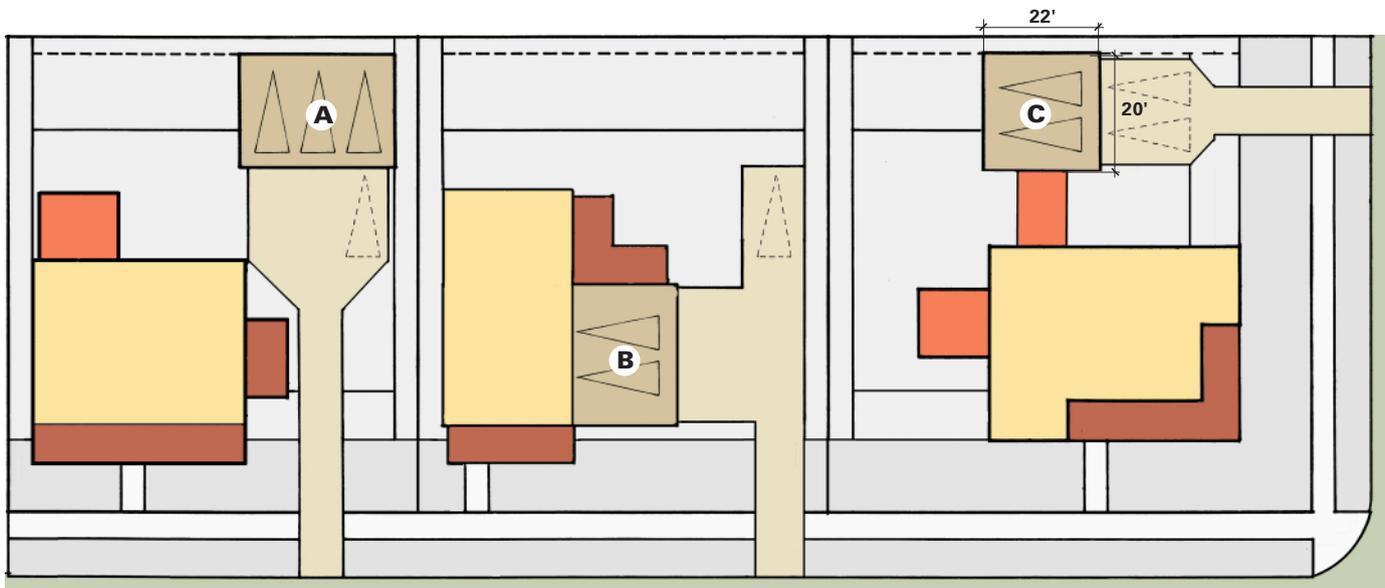
- » Front Yard: 17 feet to the house; 5 feet behind front facade to street-facing attached garage; no required setback if garage doors face side yard
- » Street Side Yard: 17 feet to the house; 20 feet to the garage
- » Side Yard: 8 feet to the house and garage
- » Rear Yard: 20 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

FACADE ZONE

- » Zones: 20 feet front, 15 feet side
- » 30% of lot frontage must have building within the Facade Zone on rectangular lots

ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only



Elements of the House

- MAIN BODY
- PORCH
- WING
- GARAGE
- PARKING PAD/DRIVEWAY

PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-attached (C)
- » Attached (B)
- » Tuck-under
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Maximum two-car garage may face street side
- » Garages must be a minimum of 22 feet deep

- » Street-loaded garages may be a maximum of 45% of the street facing facade
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side house elevation

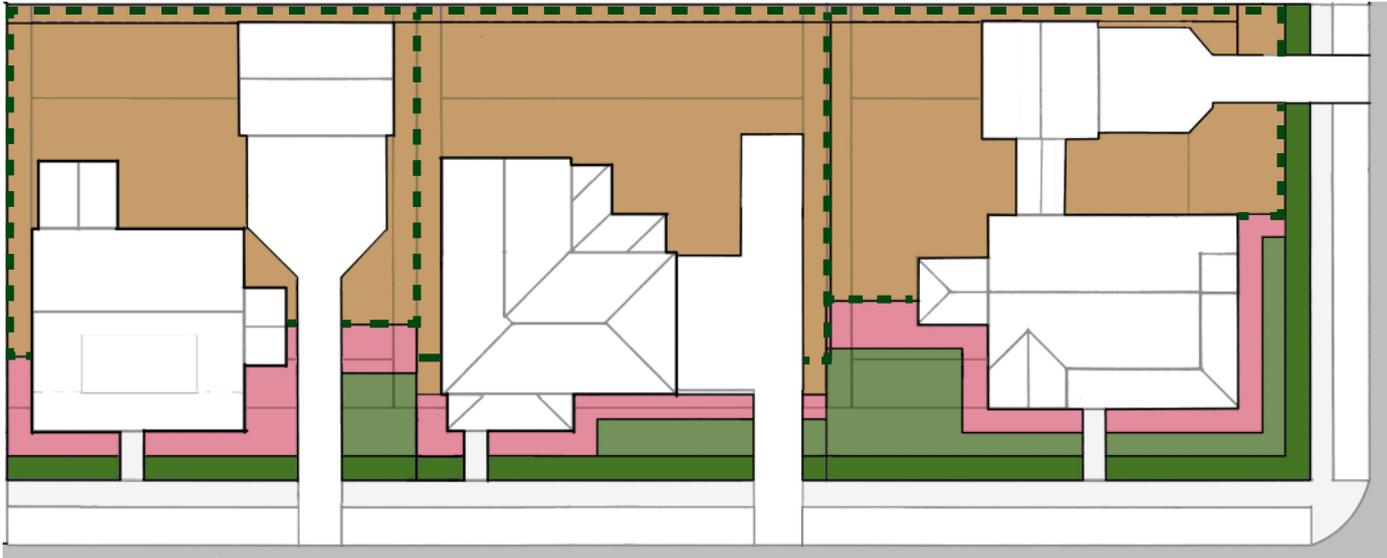
SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is permitted over the garage
- » A minimum of one additional off-street parking space is to be provided for the secondary residential unit (not required to be covered)

FRONT WALKS

- » Site stairs must be within 1 foot of finished grade if constructing cheek walls

80-FOOT LOT : FRONT-LOADED



Yard Requirements

6' TO 8' SIDE YARD/
REAR YARD FENCE

PLANTING ZONE

FOUNDATION PLANT-
ING ZONE

FRONT YARD

PRIVATE YARD

FENCE REQUIREMENTS

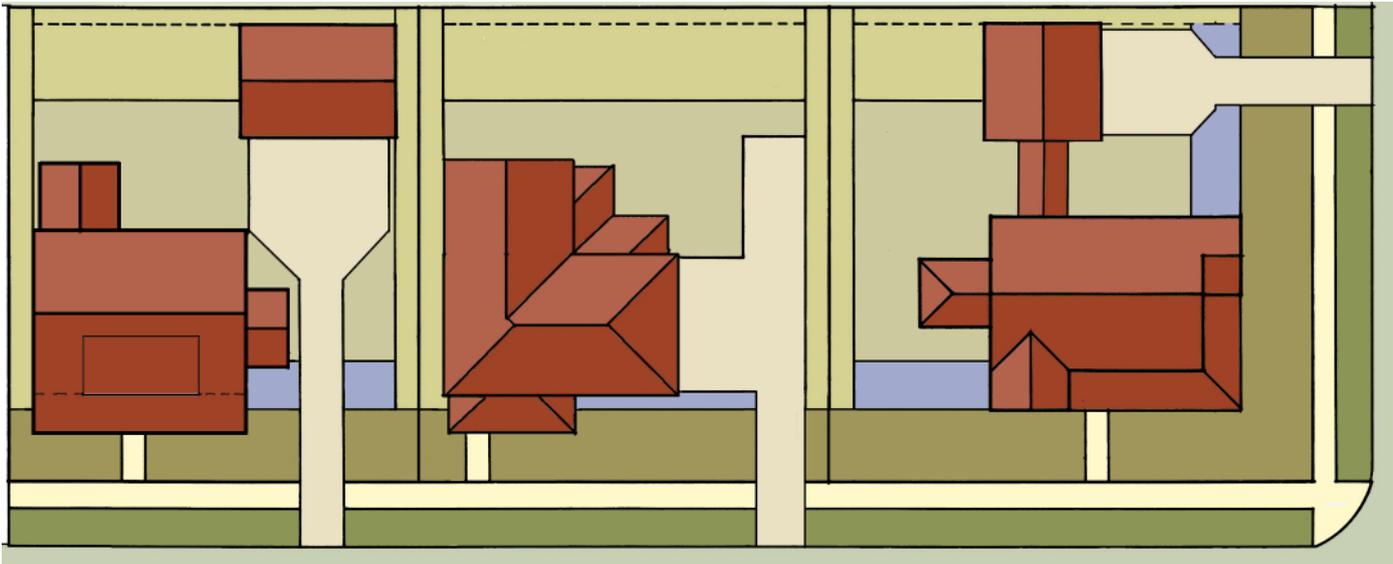
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Top 2 feet of 6- or 8-foot fence facing streets and/or public space requires change in articulation and 40% opacity

FENCE SETBACKS

- » Rear Yard: minimum 2 feet from lane; 5 feet from rear property line in street side facade zone
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
 - › 30 or fewer lots = 1 floor plan
 - › 31 to 50 lots = 2 floor plans
 - › 51 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

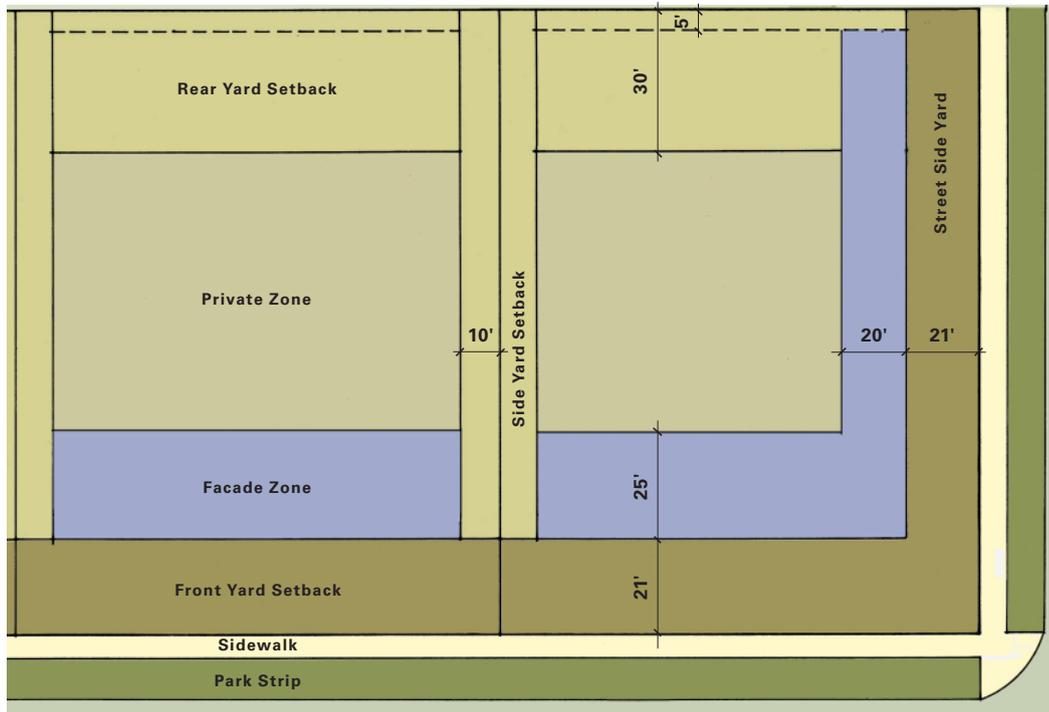
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
 - › 30 or fewer lots = 2 elevations
 - › 31 to 50 lots = 2 elevations
 - › 51 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
 - › exterior siding material
 - › exterior trim
 - › porch
 - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

100-FOOT LOT : FRONT-LOADED



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Lot Width: 100–110 feet
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

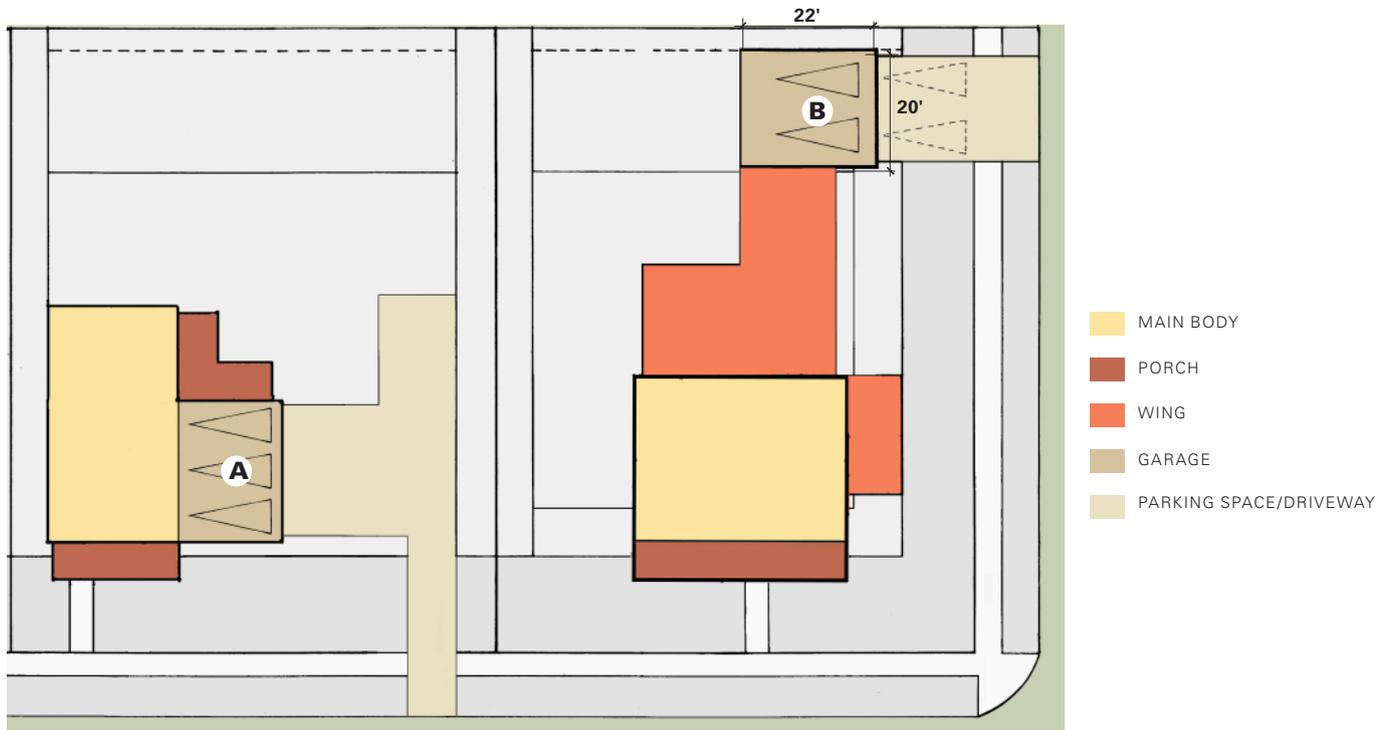
- » Front Yard: 21 feet to the house; 5 feet behind front facade to street-facing attached garage; no required setback if garage doors face side yard
- » Street Side Yard: 21 feet to the house; 20 feet to the garage
- » Side Yard: 10 feet to the house and garage
- » Rear Yard: 30 feet to the house; 5 feet to the garage (5 feet maximum to the garage encouraged on corner lots)

FACADE ZONE

- » Zones: 25 feet front, 20 feet side
- » 30% of lot frontage must have building within the Facade Zone on rectangular lots

ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached
- » Semi-attached (B)
- » Attached (A)
- » Tuck-under
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum two-car garage required; three-car garage permitted
- » Maximum two-car garage may face street side
- » Garages must be a minimum of 22 feet deep

- » Street-loaded garages may be a maximum of 45% of the street facing facade
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 4 feet from the street side house elevation

SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is permitted over the garage
- » A minimum of one additional off-street parking space is to be provided for the secondary residential unit (not required to be covered)

FRONT WALKS

- » Site stairs must be within 1 foot of finished grade if constructing cheek walls

100-FOOT LOT : FRONT-LOADED



Yard Requirements

FENCE REQUIREMENTS

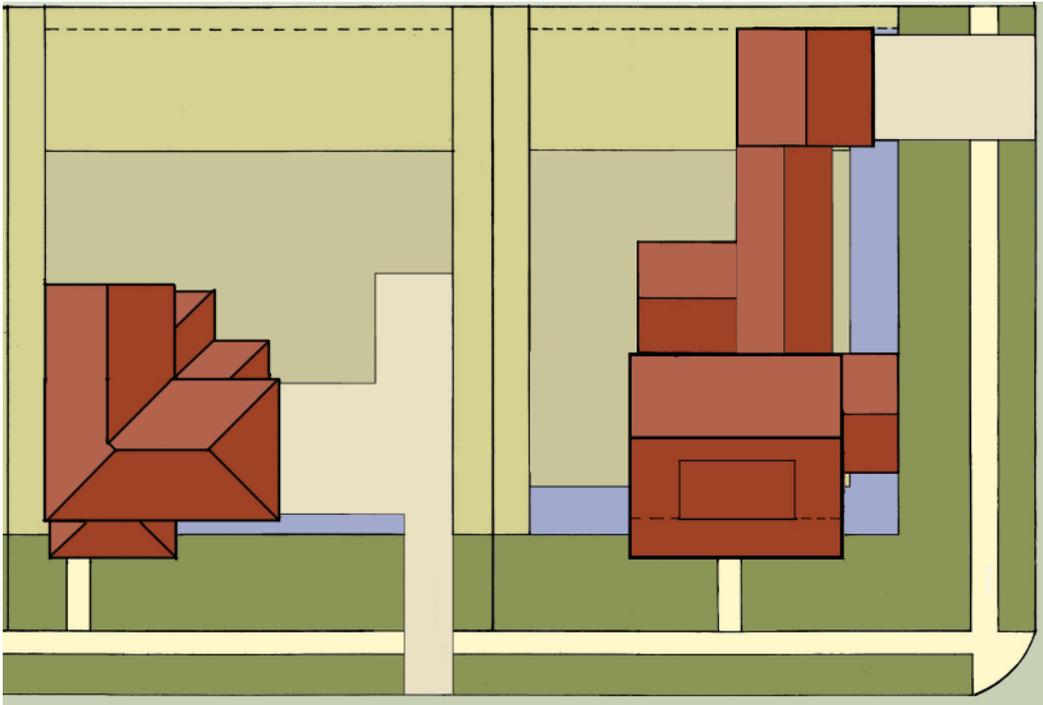
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fencing is encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Top 2 feet of 6- or 8-foot fence facing streets and/or public space requires change in articulation and 40% opacity

FENCE SETBACKS

- » Rear Yard: minimum 2 feet from lane; 5 feet from rear property line in street side facade zone
- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types must contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of lots developed:
 - › 30 or fewer lots = 1 floor plan
 - › 31 or more lots = 2 floor plans

ELEVATION PER PLAN MINIMUM

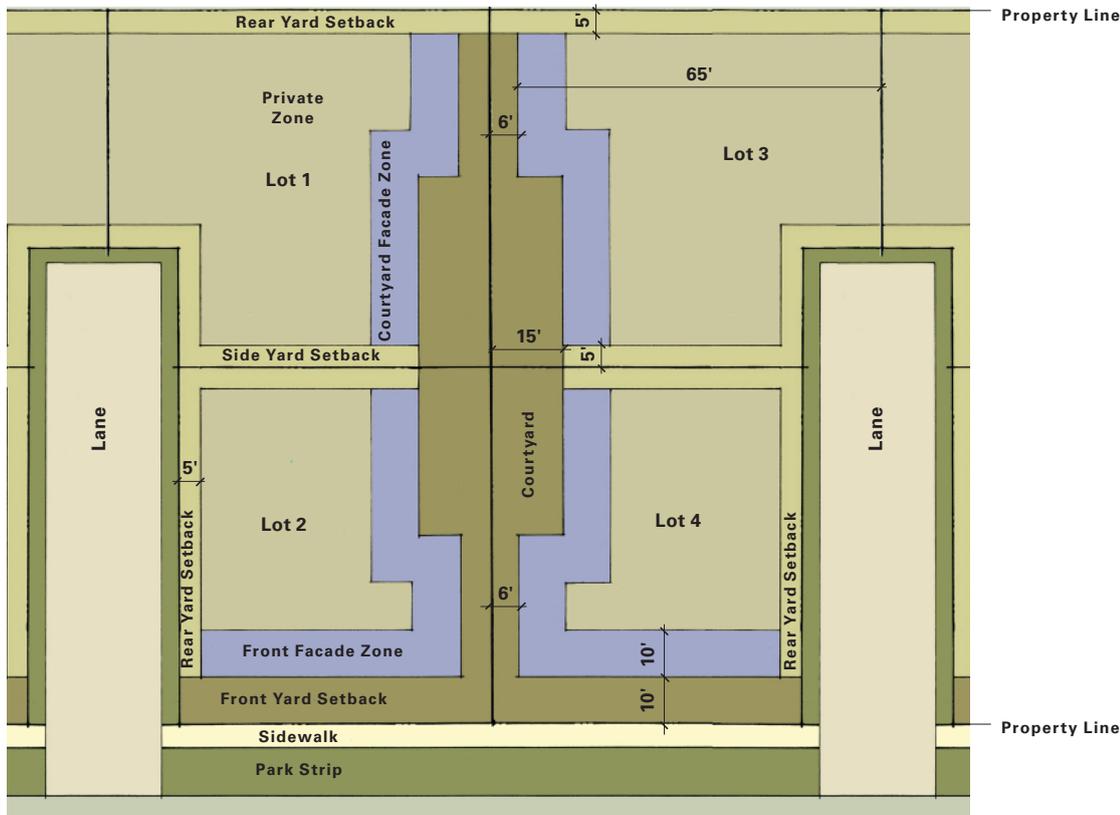
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
 - › 30 or fewer lots = 2 elevations
 - › 31 or more lots = 2 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
 - › exterior siding material
 - › exterior trim
 - › porch
 - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

COURTYARD LOTS



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 65 feet
- » Not to be used on corner lots
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

- » Front Yard: 10 feet to the house
- » Side Yard: 6 feet to the house on courtyard side; otherwise 5 feet

- » Courtyard: 15 feet to the centerline of the shared courtyard; 6 feet at Front Facade Zone and in areas where Courtyard Facade Zone meets Rear Yard Setback.

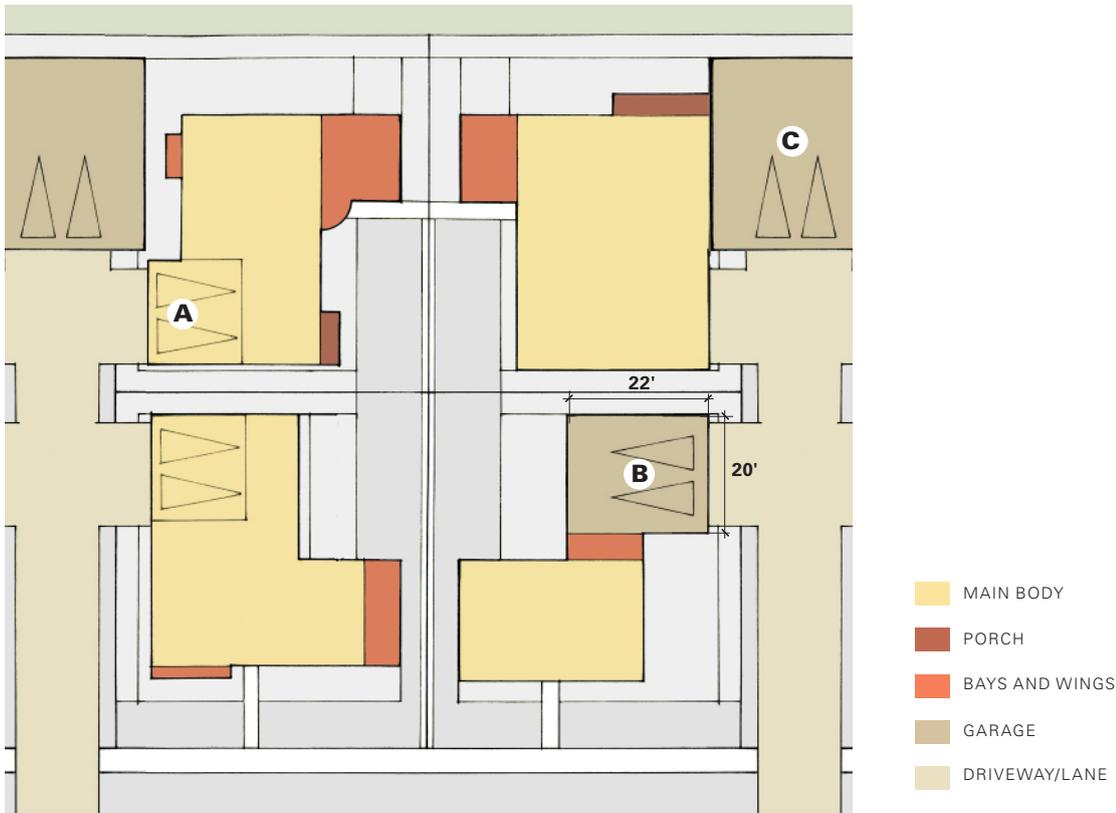
- » Rear Yard: 5 feet to the house and garage

FACADE ZONE

- » All Zones: 10 feet
- » 35% of lot frontage must have building within the Facade Zone on rectangular lots

ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Semi-attached (B)
- » Attached (C)
- » Tuck-under (A)

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces per unit (does not have to be in a garage)
- » Garages must be a minimum of 22 feet deep
- » Garage doors must face lane

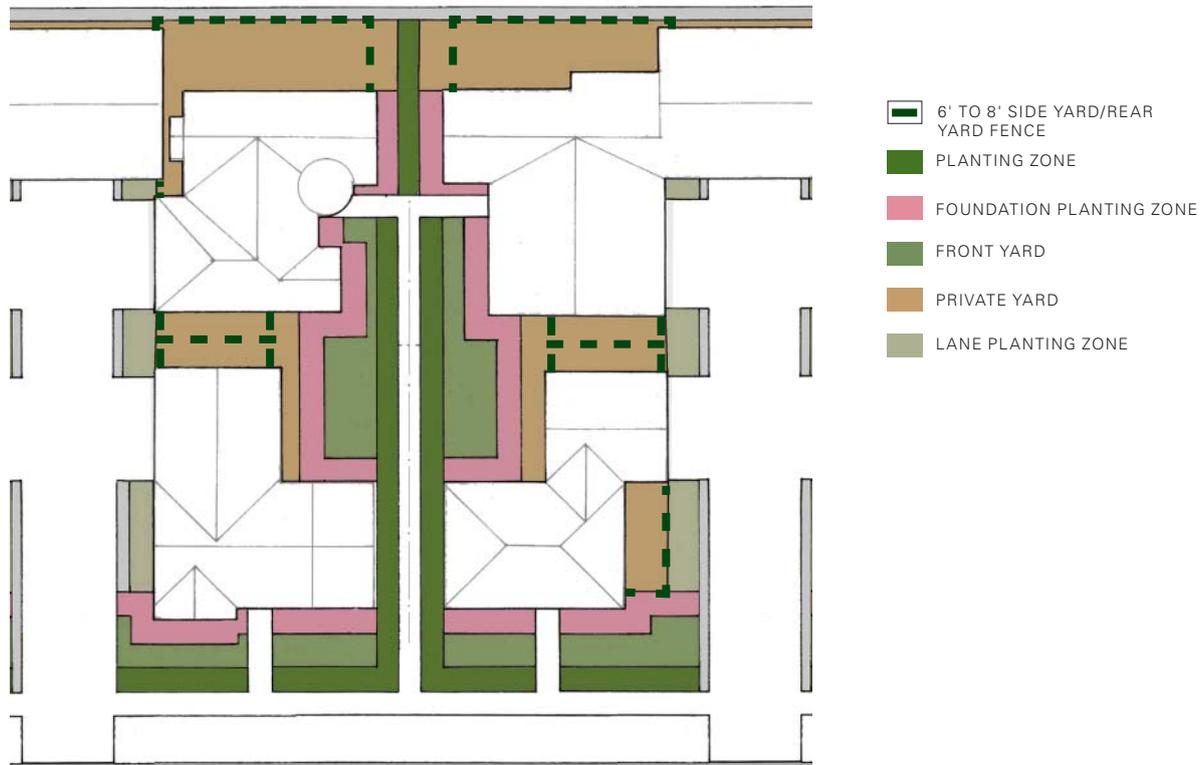
SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is permitted and encouraged at the head of the lane over the garage
- » A minimum of one additional off-street parking space is to be provided for the secondary residential unit

FRONT WALKS

- » Site stairs must be within 1 foot of finished grade if constructing check walls

COURTYARD LOTS



Yard Requirements

FENCE REQUIREMENTS

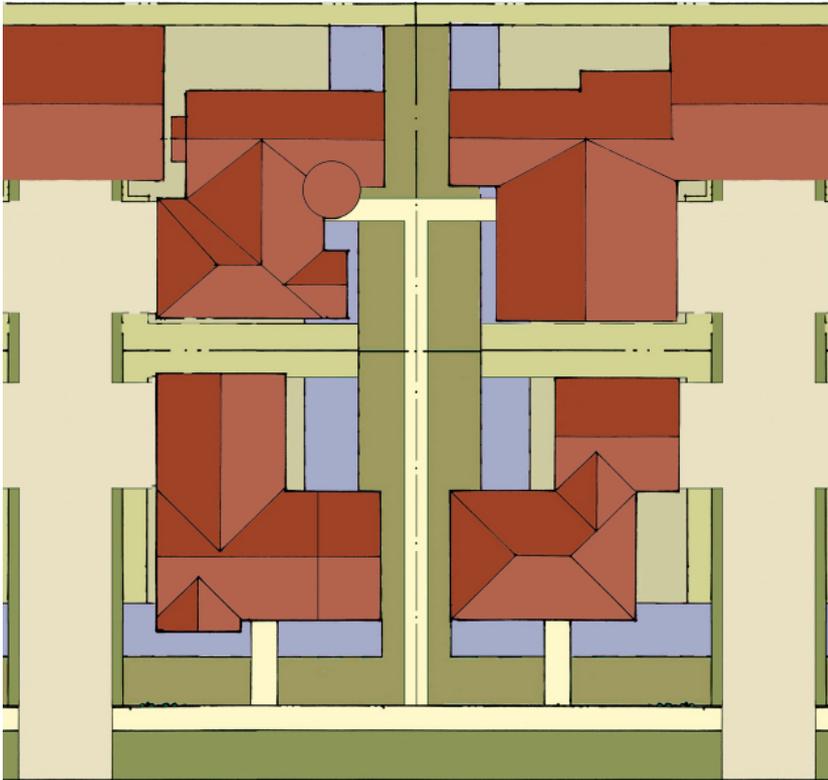
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Top 2 feet of 6- or 8-foot fence facing streets and/or public space requires change in articulation and 40% opacity

FENCE SETBACKS

- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets and courtyards
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types should contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
 - › 52 or fewer lots = 2 floor plans
 - › 53 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated in a courtyard or along a block face
- » Number of elevations developed based upon number of units developed:
 - › 52 or fewer lots = 2 elevations
 - › 53 or more lots = 3 elevations
- » A minimum of two architectural styles must be represented

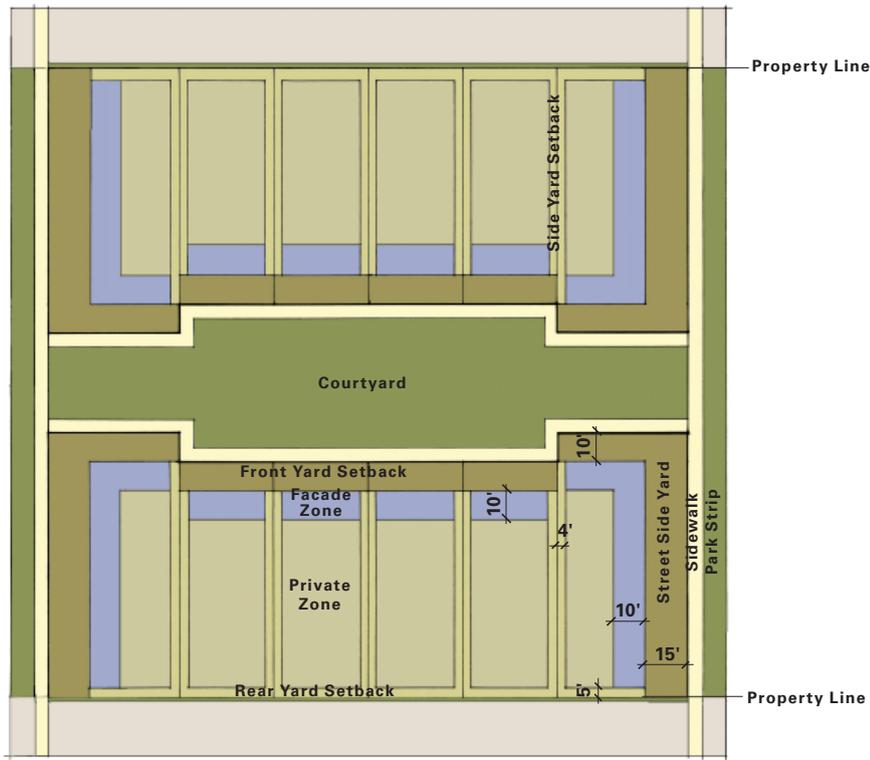
- » Each elevation is encouraged to have at least one alternative option for each of the following:

- › exterior siding material
- › exterior trim
- › porch
- › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

GREEN COURT



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 32–38 feet
- » Corner Lot Width: Increased by 5–15 feet
- » Lot Depth: Variable

MINIMUM HOUSE SETBACKS

- » Front Yard: 10 feet to the house
- » Street Side: 15 feet to the house and garage
- » Side Yard: 4 feet to the house and garage
- » Rear Yard: 5 feet to the house and garage; 5 feet maximum to the garage on a corner lot

FACADE ZONE

- » All Zones: 10 feet
- » 50% of lot frontage must have building within the Facade Zone on rectangular lots

» ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setbacks only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (B)
- » Semi-attached (A)
- » Attached (C)
- » Tuck-under
- » Tandem

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces
- » Minimum two-car garage required
- » Garages must be a minimum of 22 feet deep

» Provided parking pads shall be a minimum of 9 by 18 feet

- » Garage doors shall not face street
- » Wings that connect the garage and house on corner lots are encouraged to be recessed at least 2 feet from the street side elevation

SECONDARY RESIDENTIAL UNITS

- » Not permitted (due to off-street parking requirements)

FRONT WALKS

- » Site stairs must be within 1 foot of finished grade if constructing cheek walls

GREEN COURT



Yard Requirements

FENCE REQUIREMENTS

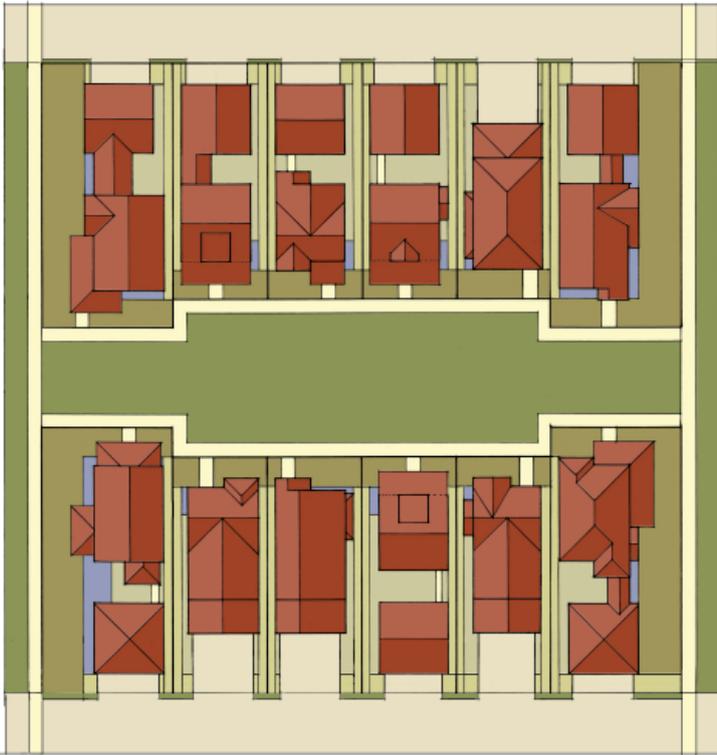
- » Front yard fencing is permitted in accordance with the Modified Specific Plan
- » Side and rear yard fences are encouraged for privacy
- » When side yard fencing is not used, a side yard easement may be introduced to create functional outdoor space. The easement shall begin at the rear of the front facade zone
- » Maximum height of side yard and rear yard fencing: 8 feet (6 feet preferred)
- » Top 2 feet of 6- or 8-foot fence facing streets and/or public space requires change in articulation and 40% opacity

FENCE SETBACKS

- » Side Yard: 5 feet from front facade of house (porch excluded)
- » Street Side: 5 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Product types must contain significant variation in floor plan, massing, and garage type
- » Number of floor plans developed based upon number of units developed:
 - › 52 or fewer lots = 2 floor plans
 - › 53 or more lots = 3 floor plans

ELEVATION PER PLAN MINIMUM

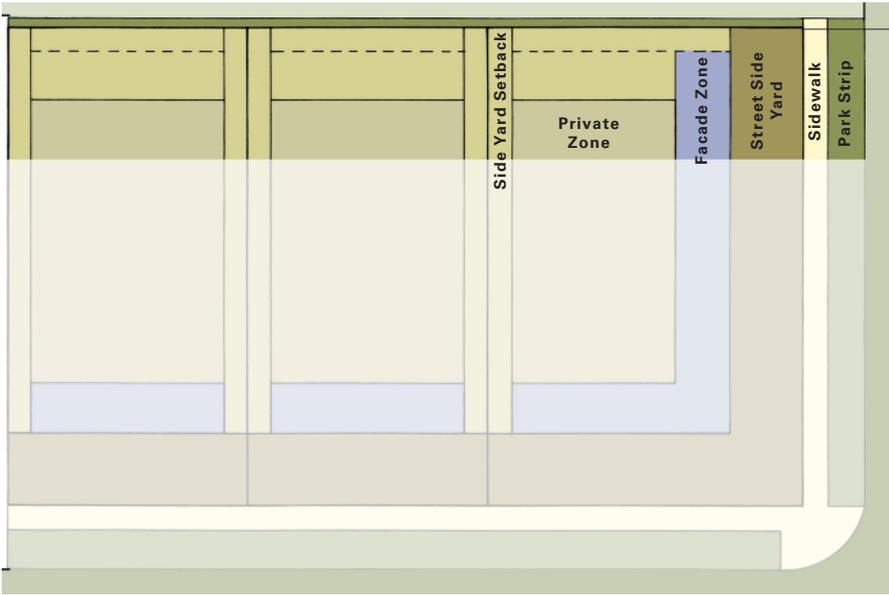
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated along a block face or opposing green court
- » Number of elevations developed based upon number of units developed:
 - › 52 or fewer lots = 2 elevations
 - › 53 or more lots = 3 elevations
- » A minimum of two architectural styles must be represented

- » Each elevation is encouraged to have at least one alternative option for each of the following:
 - › exterior siding material
 - › exterior trim
 - › porch
 - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three houses of the same style may be located next to each other
- » Identical houses (defined as having the same front facade) may not be located on adjacent lots

SECONDARY RESIDENTIAL UNITS



Property Line

SETBACKS

- » Must meet the requirements of the primary lot type

ENCROACHMENTS INTO SETBACKS

- » Balconies: 5 feet into street side setback only
- » Bay Windows (upper floors): 2 feet into street side setback only
- » Fireplaces: 2 feet into street side setback only

Lot Zones and Setbacks



LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone

Yard Requirements

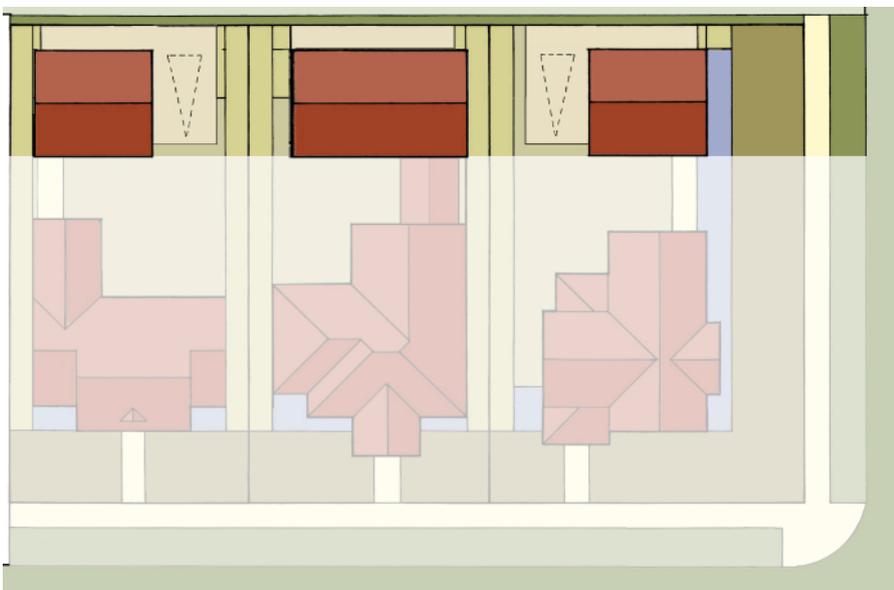
- PLANTING ZONE
- FOUNDATION PLANTING ZONE
- FRONT YARD
- PRIVATE YARD
- LANE PLANTING ZONE



Elements of the House

PARKING REQUIREMENTS

- » Minimum 1 off-street parking space
- » Units must be a minimum of 22 feet deep
- » Single parking pad permitted adjacent to garage (except on street side of corner lots)
- » Provided parking pads must be a minimum of 9 by 18 feet
- » Tandem parking for secondary residential unit permitted



General Requirements

PLAN MINIMUM

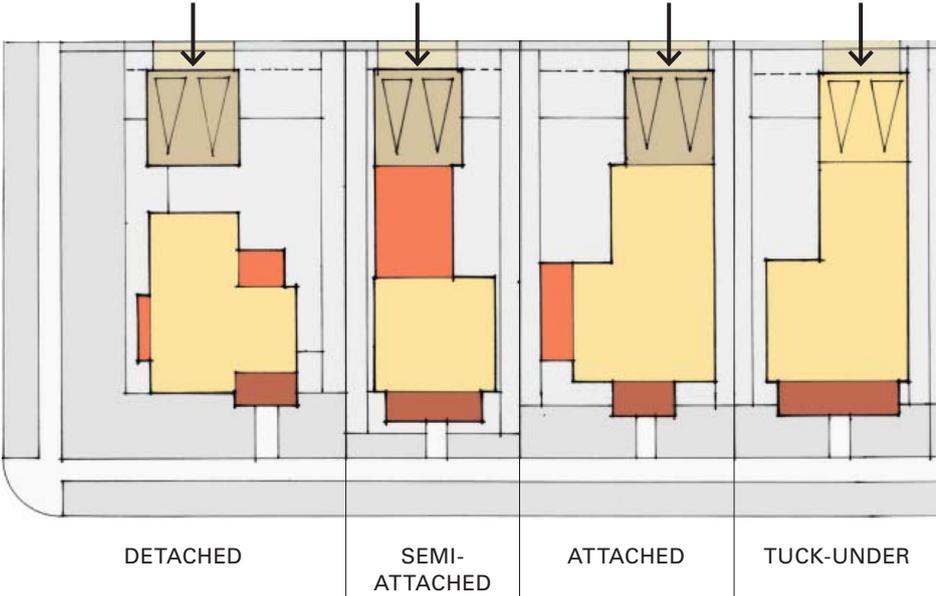
- » Product types must meet spatial requirements of first-floor garage

ELEVATION PER PLAN MINIMUM

- » Elevation variation should be manifest in the massing, roof form, primary materials, window, and color
- » Elevations must match the character, style, and materials of the primary house
- » Each elevation is encouraged to have at least one alternative option for each of the following:
 - › exterior siding material
 - › exterior trim

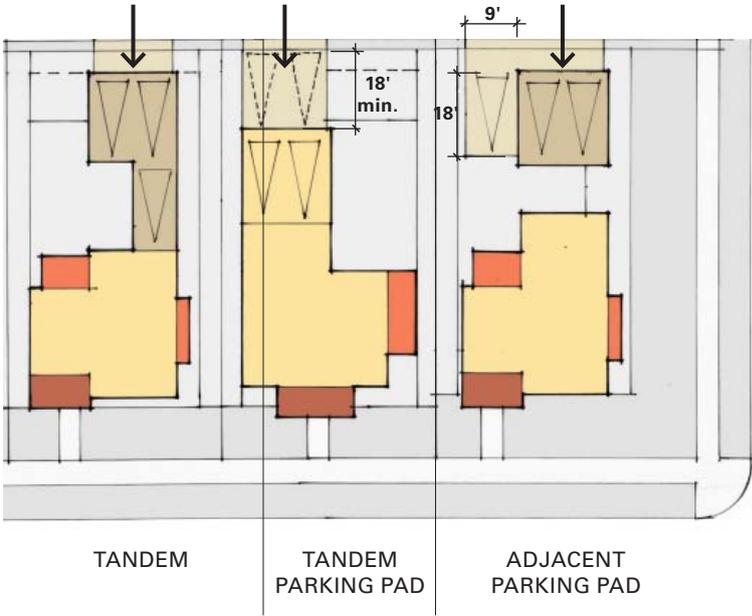
GARAGE TYPES

REAR LOADED LOTS



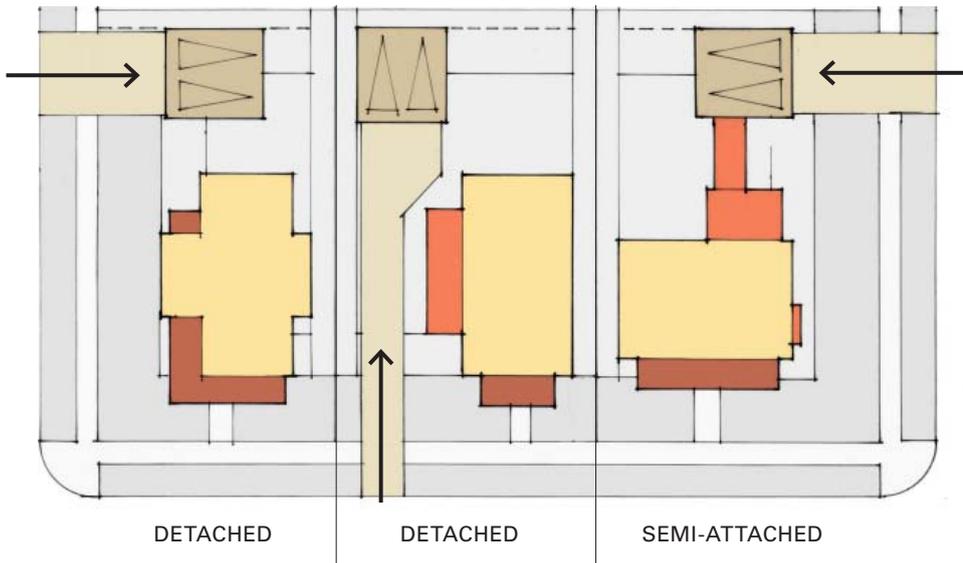
- DETACHED**
 - » Completely detached from the Main Body of the house
- SEMI-ATTACHED**
 - » Connected to the Main Body of the house by a wing or loggia
- ATTACHED**
 - » Attached directly to the Main Body of the house
 - » No habitable space above

- TUCK-UNDER**
 - » Part of the Main Body of the house
 - » Habitable space above



- TANDEM**
 - » One car in front of the other
- TANDEM PARKING PAD**
 - » Pad is located behind the garage
 - » Setback from rear property line to garage must be 18-foot minimum
- ADJACENT PARKING PAD**
 - » Pad is located adjacent to the garage
 - » Pad Dimension: 9-foot minimum by 18-foot minimum

FRONT LOADED LOTS

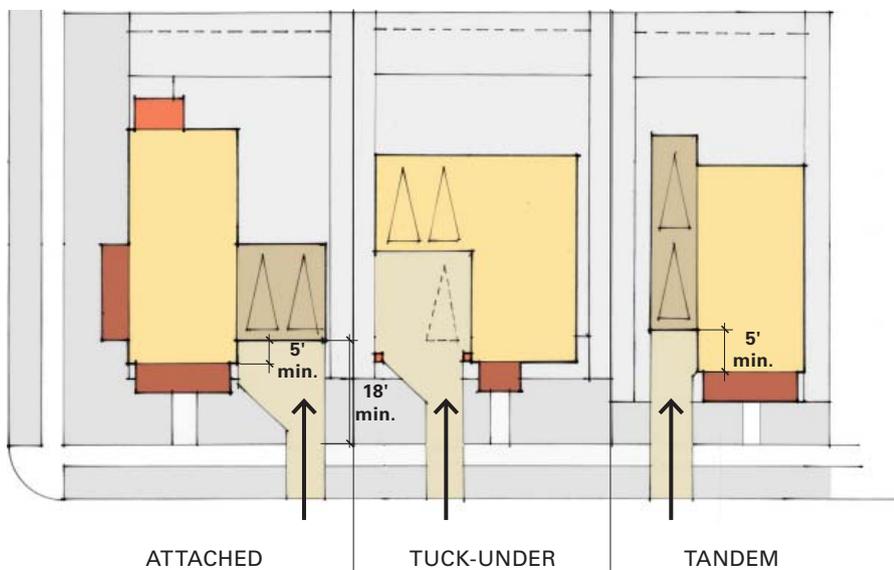


DETACHED

- » Completely detached from the Main Body of the house

SEMI-ATTACHED

- » Connected to the Main Body of the house by a wing or loggia
- » No habitable space above



ATTACHED

- » Attached directly to the Main Body of the house
- » No habitable space above
- » Setback from front property line: 18-foot minimum
- » Setback from front facade: 5-foot minimum

TUCK-UNDER

- » Part of the Main Body of the house
- » Habitable space above
- » Setback from front property line: 18-foot minimum
- » Setback from front facade: 5-foot minimum

TANDEM

- » One car in front of the other
- » Setback from front facade: 5-foot minimum

SUMMARY OF LOT SPECIFICATIONS

Lot Type	Uses	Lot Width	Minimum Setbacks to Habitable Space	
			Front	Street Side
30' Lot: rear-loaded	Single-Family Residential Detached	30' to 40'	5'	5'
40' Lot: rear-loaded	Single-Family Residential Detached	40' to 45'	5'	5'
45' Lot: rear-loaded	Single-Family Residential Detached	45' to 50'	5'	5'
50' Lot: rear-loaded	Single-Family Residential Detached	50' to 55'	10'	10'
50' Lot: front-loaded	Single-Family Residential Detached	50' to 55'	10'	10'
55' Lot: rear-loaded	Single-Family Residential Detached	55' to 60'	10'	10'
55' Lot: front-loaded	Single-Family Residential Detached	55' to 60'	10'	10'
60' Lot: rear-loaded	Single-Family Residential Detached	60' to 65'	15'	15'
60' Lot: front-loaded	Single-Family Residential Detached	60' to 65'	15'	15'
65' Lot: rear-loaded	Single-Family Residential Detached	65' to 70'	15'	15'
65' Lot: front-loaded	Single-Family Residential Detached	65' to 70'	15'	15'
70' Lot: front-loaded	Single-Family Residential Detached	70' to 80'	15'	15'

Lot Type	Uses	Lot Width	Minimum Setbacks to Habitable Space	
			Front	Street Side
80' Lot: front-loaded	Single-Family Residential Detached	80' to 100'	17'	17'
100' Lot: front-loaded	Single-Family Residential Detached	100' to 110'	21'	21'
Courtyard Lots	Single-Family Residential Detached	65'	10'	6'-15' (to court centerline)
Green Court	Single-Family Residential Detached	32' to 38'	10'	15'
Secondary Residential Units	Single-Family Residential Detached	Varies	Varies	Varies

		Encroachments
Side Yd.	Rear Yd.	
8'	5' to 20'	Porches and/or Balconies: 5' into the Front Yard and Street Side Setback Zones only Bay Windows: 2' into the Front Yard and Street Side Setback Zones only Fireplace and/or Media Nook: 2' into the Street Side and Side Yard Setback Zone only
10'	5' to 30'	Porches and/or Balconies: 5' into the Front Yard and Street Side Setback Zones only Bay Windows: 2' into the Front Yard and Street Side Setback Zones only Fireplace and/or Media Nook: 2' into the Street Side and Side Yard Setback Zone only
5' to 6'	5'	Porches and/or Balconies: 5' into the Front Yard and Street Side Setback Zones only Bay Windows: 2' into the Front Yard and Street Side Setback Zones only Fireplace: 2' into the Street Side Setback Zone only Second Floor Habitable Space: Cantilevers, Carport Roofs, and Trellis Canopies: 2' into Rear Setback Zone only
4'	5'	Porches and/or Balconies: 5' into the Front Yard and Street Side Setback Zones only Bay Windows: 2' into the Front Yard and Street Side Setback Zones only Fireplace and/or Media Nook: 2' into the Street Side and Side Yard Setback Zone only Second Floor Habitable Space: Cantilevers, Carport Roofs, and Trellis Canopies: 2' into Rear Setback Zone only
Varies	Varies	Balconies: 5' into the Street Side Setback only Bay Windows: 2' into the Street Side Setback only Fireplaces: 2' into the Street Side Setback only

ARCHITECTURAL PATTERNS

The Architectural Patterns Section for Detached Residential units illustrates key elements and design strategies for the six permitted traditional styles for Ellis Residential architecture. This section provides detailed guidelines for designing within the prescribed styles while creating well-defined variations among houses and buildings. The approach used is not intended to be a comprehensive catalog of all possibilities, but rather to serve as a guide to the key components within a particular style.

Each style section begins with an overview and general description of the style followed by several pages that document key massing types, standard door and window compositions, and materials and possibilities for facade design based upon Ellis Pattern Book components. Variations or other alternative combinations of components are permitted so long as they generally conform to the particular style. The goal is to design within specific families of styles that are appropriate to the Ellis context, not to design historic reproductions. The style pages and the illustrated details are meant to be a menu of options for designing houses in response to market demands and cost constraints while providing a consistent quality of character and detail.

SECTION 2 | DETACHED RESIDENTIAL Architectural Patterns

ELLIS CRAFTSMAN

The Craftsman home is defined from the unique origins of the California tradition found throughout southern California and San Joaquin County. Many regional building craftsmen have influenced the Ellis Craftsmen movement. Ellis Craftsmen are characterized by exposed structural elements such as rafters, columns, beams, knick, and porch details. These elements are highlighted or brought out with stain and lacquer to show texture and are painted in earthy colors. The Craftsman Craftsman home, which emerged in the beginning of the twentieth century, was influenced by both the Arts and Crafts movement and Japanese architecture.

The house, Ellis, the epitome of this style is an simple, unadorned expression of earth and stone elements using a combination of architectural details including the Prairie, Japanese, and Arts and Crafts influences from the Arts and Crafts movement. From a simple and refined minimalist timber structure. Whereas in this style tend to be vertical in proportion and horizontally spread in plan.

Horizontal siding, exposed and shaped double eave gables, and a wide overhanging eave are defining elements. This style also may include exposed wood roofing and shingled roof.

COMMON ELEMENTS OF THE ELLIS CRAFTSMAN

- Horizontal siding with double eaves
- Deep, broad porch elements with exposed structural components
- Exposed structural elements in the interior such as rafters and beams
- A combination of materials such as stone, shingles, and siding
- Asymmetrical windows and door compositions

GALLERY OF EXAMPLES

2 | 86 Ellis Craftsmen 2 | 86

SECTION 2 | DETACHED RESIDENTIAL Architectural Patterns

ELLIS MEDITERRANEAN REVIVAL

The Mediterranean Revival style draws on the distinctive architectural character of the Mexican Peninsula as influenced by the popular California Spanish Colonial style. The style dates back to the early twentieth century. The first notable model around 1910 utilized a mix of traditional Spanish architectural forms throughout the region. The Mediterranean style emerged from Spanish style precedents that date between 1817 and 1892. The style uses horizontal adobe construction, local in this region, with Spanish Colonial influences. The result is a distinctive architectural vocabulary characterized by simple forms with rounded decorative details. These houses use Colonial timber and adobe detailing because from the English country architecture and added a rustic timber porch with square columns and posts. The roof had a very shallow pitch, often gabled or hipped, and was covered with clay tiles or terra cotta shingles.

The square balcony on the front of the house was a porch in the porch that often remained or defined a porch courtyard in the back of the house. The detailing on the porch and the cornice is ornamental simple.

COMMON ELEMENTS OF ELLIS MEDITERRANEAN REVIVAL

- Simple, unadorned columns, windows and door casings
- Shallow eave roof, often hip or gable with shingles and tile
- Typically two-story
- Shingled exterior of double-bay Colonial windows and doors
- Multi-pane window openings, with a proportion, usually with a more or more square proportions
- Stone facing, projecting timber balconies or stone piers with square columns

GALLERY OF EXAMPLES

2 | 84 Ellis Mediterranean Revival 2 | 85

SECTION 2 | DETACHED RESIDENTIAL Architectural Patterns

ELLIS FARMHOUSE VICTORIAN

The Ellis Farmhouse Victorian style builds on the early Carpenter Gothic cottage built in the western region of the United States from early pattern books. While the Victorian style houses introduced in the 1850s in the San Jose, the popularity grew and spread throughout San Francisco. The style was published by Andrew Jackson Downing, who, in 1842, published the first pattern book. Publications such as The American Architect influenced the popularity of the style and provided an especially diverse, ornate or simplified Spanish and Italian building types prevalent at the time. Many early designs were well-timed adapted to the style with stone and terra cotta materials such as Italian, Spanish, Queen Anne, and Italianate detailing.

The Farmhouse Victorian style is centered on simple, elegant forms to create a more refined house on small lots. This style has ornate gables and double eaves, decorative iron elements, and vertical windows and doors.

COMMON ELEMENTS OF ELLIS FARMHOUSE VICTORIAN

- Moderate to steeply pitched, four eave gable roof
- Cut woodwork, often with natural stains such as brass and iron
- Chighood or cut double eave gables
- Vertical proportion for windows and doors
- Bay and chimney bay windows

GALLERY OF EXAMPLES

2 | 86 Ellis Farmhouse Victorian 2 | 87

SECTION 2 | DETACHED RESIDENTIAL Architectural Patterns

ELLIS EUROPEAN COUNTRY

The Ellis European Country style is based on the early twentieth century interpretation of English architecture by American authors and builders. The source for design comes from Richard English country houses, and rural village vernacular houses. The American interpretation includes houses with simple volumes often with four eave gables, chimneys, gable, bay, and shut — as a dominant feature of the style. In California, the principal materials the common detailing is stone. There are a variety of exterior materials, including stone, stone or brick, HAD coloring and horizontal siding are often used as well as stone.

Chimneys typically are a principal feature for the marking of the house. These are usually very ornate, often with stone finish, simple detailing and chimney pots. Windows are typically casements, vertical in proportion and arranged in groups of two or three. There are multiple windows in the facade, the dominant form is one of a child room with small openings.

COMMON ELEMENTS OF ELLIS EUROPEAN COUNTRY

- Steeply pitched windows and door casings
- Vertical windows and porches
- Broad exposure of wall with the stone or masonry treatments
- Rust face masonry below side doors or windows
- Stone detailing and shingle roofings

GALLERY OF EXAMPLES

2 | 86 Ellis European Country 2 | 89

SECTION 2 | DETACHED RESIDENTIAL Architectural Patterns

ELLIS MEDITERRANEAN REVIVAL

The Mediterranean Revival style draws on the distinctive architectural character of the Mexican Peninsula as influenced by the popular California Spanish Colonial style. The style dates back to the early twentieth century. The first notable model around 1910 utilized a mix of traditional Spanish architectural forms throughout the region. The Mediterranean style emerged from Spanish style precedents that date between 1817 and 1892. The style uses horizontal adobe construction, local in this region, with Spanish Colonial influences. The result is a distinctive architectural vocabulary characterized by simple forms with rounded decorative details. These houses use Colonial timber and adobe detailing because from the English country architecture and added a rustic timber porch with square columns and posts. The roof had a very shallow pitch, often gabled or hipped, and was covered with clay tiles or terra cotta shingles.

The square balcony on the front of the house was a porch in the porch that often remained or defined a porch courtyard in the back of the house. The detailing on the porch and the cornice is ornamental simple.

COMMON ELEMENTS OF ELLIS MEDITERRANEAN REVIVAL

- Simple, unadorned columns, windows and door casings
- Shallow eave roof, often hip or gable with shingles and tile
- Typically two-story
- Shingled exterior of double-bay Colonial windows and doors
- Multi-pane window openings, with a proportion, usually with a more or more square proportions
- Stone facing, projecting timber balconies or stone piers with square columns

GALLERY OF EXAMPLES

2 | 84 Ellis Mediterranean Revival 2 | 86

SECTION 2 | DETACHED RESIDENTIAL Architectural Patterns

ELLIS SPANISH COLONIAL

California homes of the 1920s and 1930s were designed in a mix variety of styles, but the Spanish Colonial style was by far the most popular due to its early association with the region, its adaptability to the local landscape and climate, and its charm and character. A major impetus for the revival of Spanish architecture came from Barbara Gordon's designs for the 1915 Pan Pacific Exposition in San Diego.

The Spanish Colonial style is a variety of styles, verified by the use of adobe, masonry, stucco, stone and terra cotta wall surfaces, and tile roofs, all as defined from Mediterranean architectural styles. Spanish Colonial style is most often characterized by a vertical plan arrangement and a variety.

Spanish style houses typically have low, long sprawling wings of wall with a minimum of openings (restricted in its form the operation of thick masonry). They also have thick, low pitched roofs to accommodate the historical historical colonial pattern. Begins in adobe and substituted stone, a Spanish style house, most of the effect comes from a correct use of proportion and space, well-placed windows. The house's traditional form is the contrast of a wide single and tall shadows, light and dark, in the use of materials, to express and style, and in its ornate simplicity.

COMMON ELEMENTS OF ELLIS SPANISH COLONIAL

- Simple window and door compositions
- Central porches and loggias
- Balconies with decorative ironwork

GALLERY OF EXAMPLES

2 | 80 Ellis Spanish Colonial 2 | 81

ELLIS CRAFTSMAN

Ellis Craftsman houses are derived from the unique qualities of the Craftsman tradition found throughout northern California and San Joaquin County. Many regional builders constructed houses influenced by the Arts & Crafts movement. California versions are characterized by exposed or expressive structural elements such as rafters, columns, beams, lintels, and porch elements. House exteriors were clapboard or shingle siding mixed with stone and brick or stucco accents and were painted in robust color palettes. The California Craftsman house, which emerged in the beginning of the twentieth century, was influenced by both the Arts & Crafts movement and Japanese architecture.

For houses in Ellis, the emphasis in this style is on simple, structural expression of porch and eave elements using a vocabulary of architectural elements including the Prairie, Japanese, and Swiss styles, as well as influences from the Arts & Crafts movement. Forms are simple and reflect dimensioned lumber elements. Windows in this style tend to be vertical in proportion and are typically ganged or paired. Exposed eave brackets on roofs and porches contribute to this image and detail.

Horizontal siding, square and shaped shingle siding patterns, and a mix of stucco and siding materials are key cladding elements. This style also may include unpainted metal roofing and shingled roofs.

COMMON ELEMENTS OF THE ELLIS CRAFTSMAN

- » Pitched roofs with deep overhangs.
- » Deep, broad porch elements with expressive structural components.
- » Exposed structural elements in the eaves such as rafters and brackets.
- » A combination of materials such as stucco, shingles, and siding.
- » Asymmetrical window and door compositions.



GALLERY OF EXAMPLES



Photo Credit: Design Lens

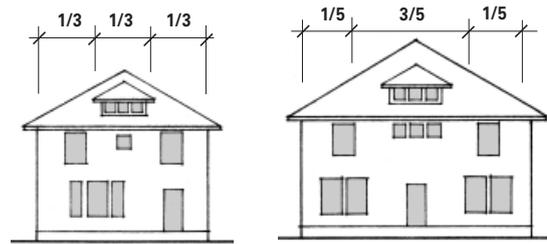
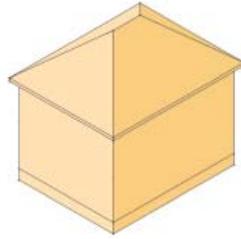


MASSING AND COMPOSITION

A TWO-STORY HIP

Hipped rectangular volume. Hip roof pitch is typically 4 to 7 in 12. Hipped front porches are common and have a shallower roof pitch. Porches may be either additive or a single integral bay.

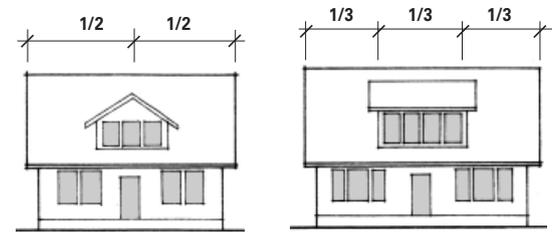
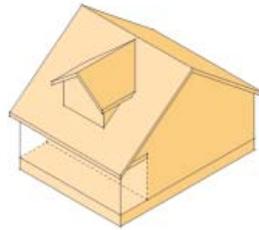
A TWO-STORY HIP



B ONE-AND-ONE-HALF-STORY SIDE GABLE

Square volume with a 4 to 5 in 12 side gabled roof. Integral front porch that ranges from half to the full length of the front facade. Symmetrically placed gabled or shed dormers with 4 in 12 roof pitch.

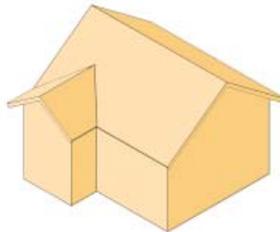
B ONE-AND-ONE-HALF-STORY SIDE GABLE



C TWO-STORY GABLE L

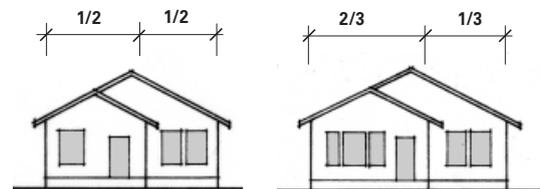
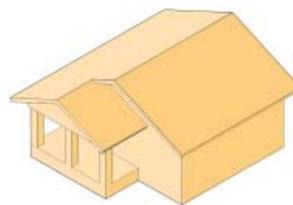
Cross-gabled volume with a 4 in 12 gable facing the street. Often an in-line gabled porch or wing is added to the front left of the L. Porches may also be located between the legs of the L.

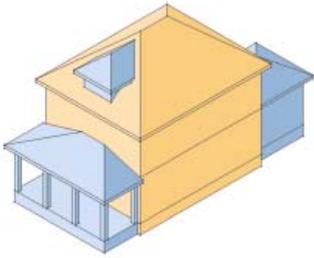
C TWO-STORY GABLE L



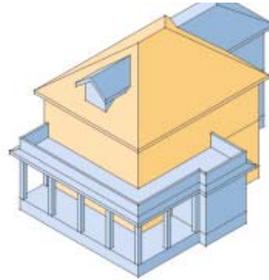
D ONE-AND-ONE-HALF-STORY FRONT GABLE WITH ADD-ON
Rectangular volume with a 4 to 5 in 12 roof pitch and gable facing the street. Asymmetrically placed gable and front porch is common.

D ONE- AND-ONE-HALF-STORY FRONT GABLE WITH ADD-ON

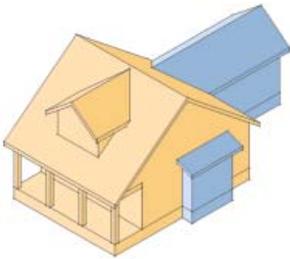




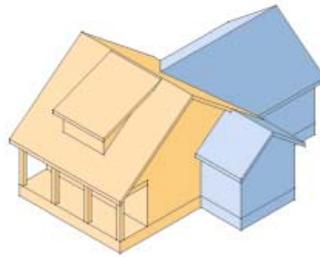
A1 Hipped roof with add-on porch, a rear wing and a street-facing dormer



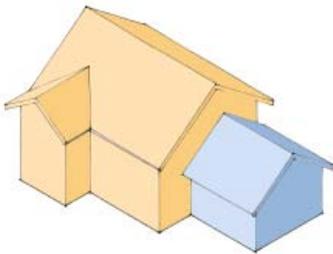
A2 Hipped roof with wraparound porch, a rear wing and a street-facing dormer



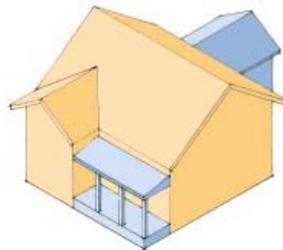
B1 Side gable with an integral porch, a rear wing and side bay window



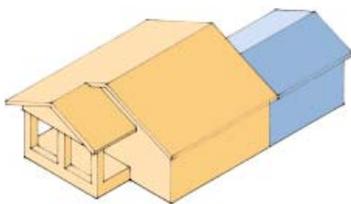
B2 Side gable with an integral porch, a rear wing and a side wing



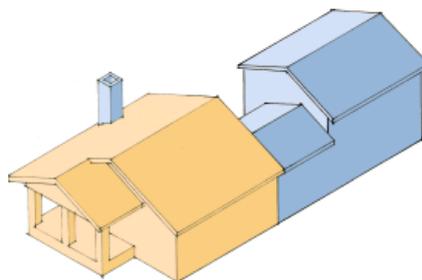
C1 Side gable L with side wing



C2 Side gable with add-on porch and rear wing



D1 Front gable and add-on massing with rear wing



D2 Front gable and add-on massing with one-story connection to two-story carriage unit



POSSIBILITIES

PRECEDENTS

TWO-STORY HIP



ONE-AND-ONE-HALF-STORY
SIDE GABLE



TWO-STORY GABLE L



ONE-AND-ONE-HALF-STORY
FRONT GABLE WITH ADD-ON



MATERIALS

SIDING/CLADDING

- » Wood shingle; fiber-cement clapboard, composite and/or stucco
- » Lace finish not permitted

ROOFING

- » Composition shingles, flat concrete tile, standing seam, or 5v crimp metal

WINDOWS

- » Single- or double-hung
- » Fixed accent windows (limited)
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum, or vinyl
- » Traditional-looking profiles

TRIM

- » Stucco, wood, composition board, cellular PVC, polyurethane, or fiber cement

COLUMNS/BRACKETS

- » Wood or composite

RAILINGS

- » Wood or composite top and bottom rails with square balusters
- » Solid railings of wood, fiber cement, cut shingle siding or manufactured stone veneer

SOFFITS AND PORCH CEILING

- » Exposed rafters at soffits with starter board or v-groove sheathing
- » T&G wood, beaded plywood, exterior-grade plywood, or stucco porch ceiling

GUTTERS

- » Ogee or half-round primed or prefinished metal
- » PVC is acceptable in a color that matches the trim
- » Fascia gutter permitted

DOWNSPOUTS

- » Rectangular or round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches the trim or the stucco cladding

SHUTTERS

Not applicable

CHIMNEYS

- » Stucco, brick, or manufactured stone veneer
- » Siding to match structure

FRONT YARD FENCES

- » Wood, stone, or masonry with stucco finish
- » Vinyl picket permitted
- » Wrought iron or equivalent

REAR YARD FENCES

- » Cedar, redwood, or masonry with stucco finish (if applicable)
- » Vinyl and pressure treated wood are permitted

COLORS

SIDING AND TRIM

- » Colors to be selected from the Ellis Color Palette

WINDOWS

- » Colors to be selected from the Ellis Color Palette

ROOF SHINGLES

- » Colors to be selected from the Ellis Color Palette

GUTTERS AND DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

FRONT YARD FENCES

- » Colors to be selected from the Ellis Color Palette

ELLIS FARMHOUSE VICTORIAN

The Ellis Farmhouse Victorian style builds on the early Carpenter Gothic cottages built in the western region of the United States from early pattern books. While the Victorian style became fashionable in the 1800s in the Bay Area, its popularity grew and spread outward from San Francisco. Style books published by Andrew Jackson Downing were the source of many early examples. Publications such as *The Horticulturist* influenced the preferences of the public and provided an especially dramatic contrast to the inherited Spanish and adobe building types prevalent at the time. Many early religious camp settlements adopted the style with more and more exotic variations that included Eastlake, Queen Anne, and Italianate detailing.

The Farmhouse Victorian style is centered on simple, elegant forms to create more informal houses on small lots.

This style has expressive porch elements, decorative trim elements, and vertical windows and doors.

COMMON ELEMENTS OF ELLIS FARMHOUSE VICTORIAN

- » Moderate to steeply pitched, front-facing gable roofs.
- » Cut wood ornament, often with natural forms such as leaves and vines.
- » Clapboard or cut shingle siding.
- » Vertical proportions for windows and doors.
- » Box bay and cutaway bay windows.



GALLERY OF EXAMPLES



Photo Credit: Design Lens



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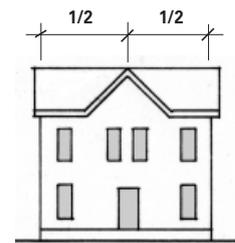
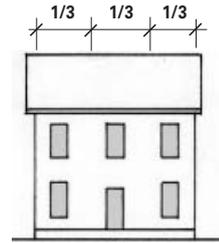
Photo Credit: Design Lens

MASSING AND COMPOSITION

A TWO-STORY SIDE GABLE

Side-gabled rectangular volume, often with a steeply-pitched, gabled dormer flush to the front facade. Front gable roof pitch is typically 4 to 12 in 12, and the side gable is less steeply pitched, typically 4 to 10 in 12. One- or two-story front porches often extend across the full front of the house.

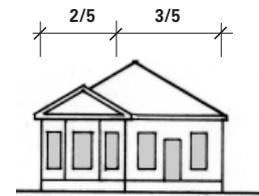
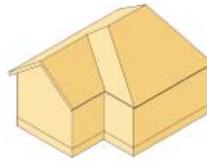
A TWO-STORY SIDE GABLE



B ONE-AND-ONE-HALF-STORY HIP L

One-and-one-half-story hipped volume with a one-story front or hipped gable extending beyond the main body. Roof pitches are typically 4 to 12 in 12. One-story integral or shed porches are most common.

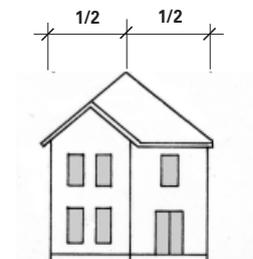
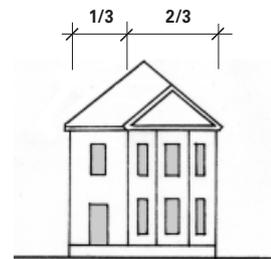
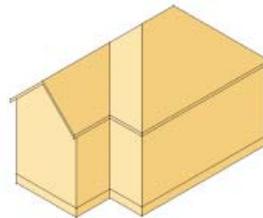
B ONE-AND-ONE-HALF-STORY HIP L



C TWO-STORY HIP L

Two-story rectangular volume with hipped roof and a front gable which can extend beyond the front facade of the main body a maximum of 3 feet. Roof pitch is typically 4 to 12 in 12. A one- or two-story front wraparound porch with shed roof is common.

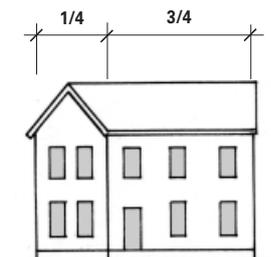
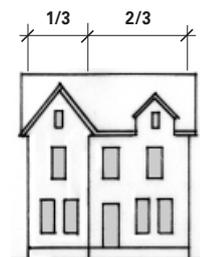
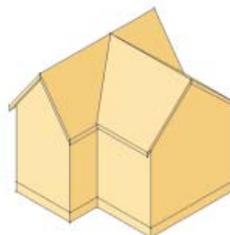
C TWO-STORY HIP L

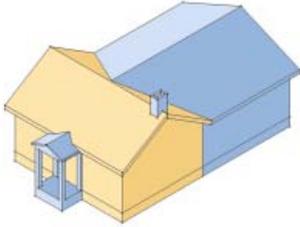


D GABLE L

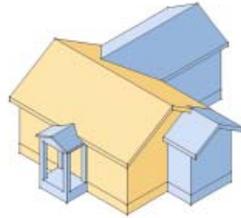
Cross-gabled volume with a 4 to 12 in 12 gable facing the street. Cross-gable is typically equal or steeper than the roof of the primary mass and no wider than half that of the main body. This massing often has a gable porch emphasizing the entrance.

D GABLE L





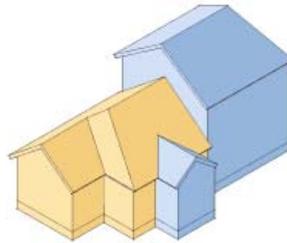
A1 Broad front with large rear wing, a chimney centered on gable ridge and a centered entry porch



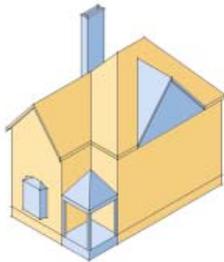
A2 Broad front with rear wing, a side wing and a centered entry porch



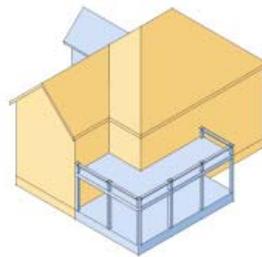
B1 One-story hip L with street-facing bay window and hipped-roof entry porch



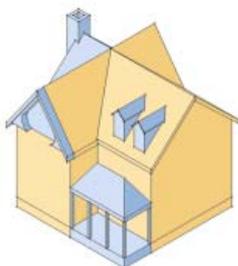
B2 One-story hip L with a side wing and two-story rear wing



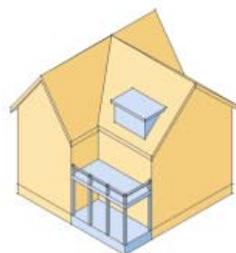
C1 Two-story hip L with side-facing gable dormer, a street-facing bay window, a chimney, and a hipped-roof entry porch



C2 Two-story hip L with a two-story wraparound porch, and a side wing



D1 Gable L with continuous cross gable and chimney, double street-facing dormers, hipped-roof entry porch, and glazing with street-facing projecting gable



D2 Gable L with continuous shed dormer and flat-roof entry porch



POSSIBILITIES

PRECEDENTS

TWO-STORY SIDE GABLE



ONE-AND-ONE-HALF-STORY HIP L



TWO-STORY HIP L



GABLE L



MATERIALS

SIDING/CLADDING

- » Board and batten, wood, or fiber-cement clapboard

ROOFING

- » Composite shingles
- » Flat concrete tile

WINDOWS

- » Single- or double-hung
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum or vinyl
- » Traditional wood profiles

TRIM

- » Wood, composition board, cellular PVC, or polyurethane

COLUMNS

- » Turned or built-up wood, or composite

RAILINGS

- » Wood or composite top and bottom rails with straight, turned, or scroll cut balusters

SOFFITS AND PORCH CEILING

- » Fiber-cement board, stucco, T&G wood, beaded plywood, or exterior-grade plywood

GUTTERS

- » Half-round primed or prefinished metal
- » PVC is acceptable in a color that matches the trim
- » Fascia gutter permitted

DOWNSPOUTS

- » Round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches the trim

SHUTTERS

- » Raised or flat paneled
- » Louvered or plank
- » Wood or composite material, or colored vinyl
- » Hinges, shutter dogs, and latches are encouraged

CHIMNEYS

- » Manufactured stone or brick veneer or siding to match house

FRONT YARD FENCES

- » Wood picket, prefinished metal, or stone
- » Vinyl picket permitted

REAR YARD FENCES

- » Cedar or redwood
- » Vinyl and pressure-treated wood are permitted

COLORS

SIDING, WINDOWS, AND TRIM

- » Colors to be selected from the Ellis Color Palette

ROOF SHINGLES

- » Colors to be selected from the Ellis Color Palette

GUTTERS AND DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

SHUTTERS

- » Colors to be selected from the Ellis Color Palette

FRONT YARD FENCES

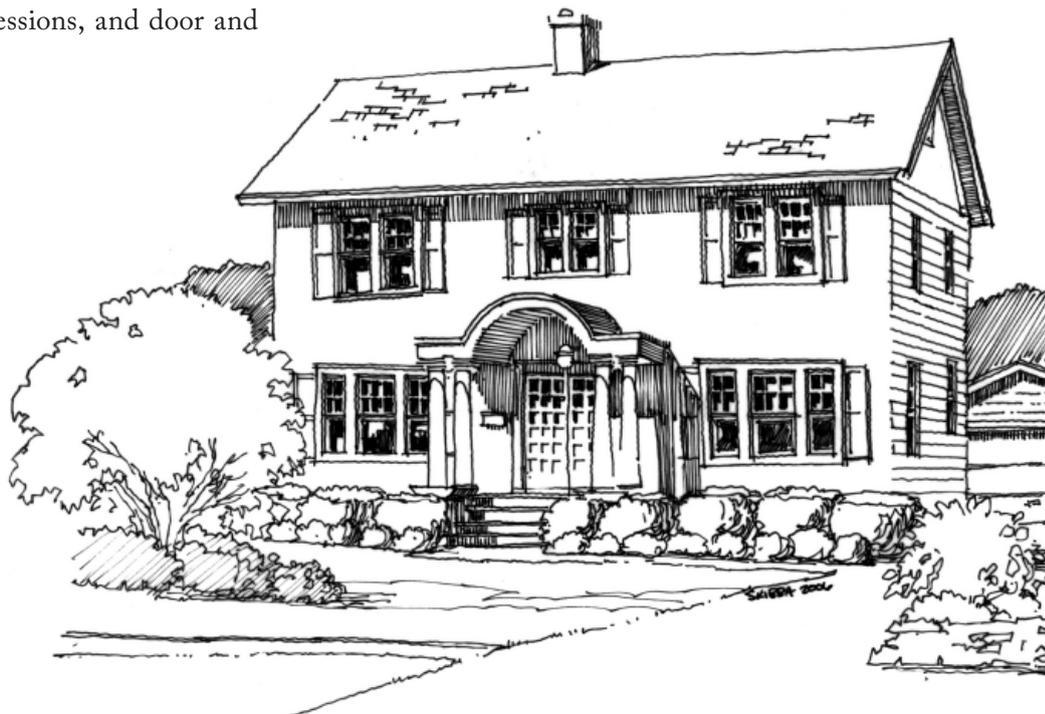
- » Colors to be selected from the Ellis Color Palette

ELLIS REVIVAL

The Ellis Revival style is based upon Colonial Revival styles that were prevalent throughout the country in the early 1900s. The Colonial Revival style is evident in many California towns and cities. Interesting examples of this style can be found in the Central Valley area including regional precedents in places like Stockton, Concord, Antioch, and Livermore.

The Colonial Revival style is based on Classical design principles followed during the colonial period in this country. The interpretations, however, often reflect regional adaptations. The California examples include many houses with full front porches as well as Dutch Colonial renditions.

The houses are composed of simple forms with well-proportioned windows and door surrounds. These are often more horizontal in appearance with special windows appearing in the center of the house over the front door. Stockton area Colonial Revival houses typically emphasize the horizontal proportions with square, robust columns, wide corner boards, pilaster expressions, and door and window trim.



COMMON ELEMENTS OF ELLIS REVIVAL

- » Simple, straightforward volumes with projecting wings and porches added to make more complex shapes.
- » An orderly, symmetrical relationship between windows, doors, and building mass.
- » Simplified versions of Classical details and columns, occasionally with Classical orders used at the entry.
- » Multi-pane window appearance with six-pane patterns.
- » Strong horizontal lines emphasized by broad eaves and wide trim.

GALLERY OF EXAMPLES

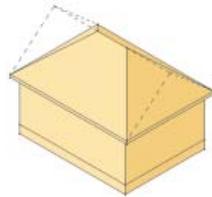


MASSING AND COMPOSITION

A ONE-AND-ONE-HALF-STORY SIDE GABLE AND HIP

Side-gabled or hipped rectangular volume. Hip roof pitch is typically 4 to 10 in 12. Dormer windows and shed roofs are often present in the roof form. Porches are additive structures that may cover all or part of the front facade.

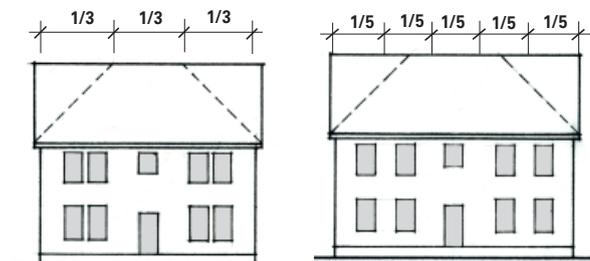
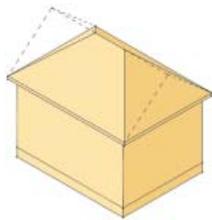
A ONE-AND-ONE-HALF-STORY SIDE GABLE AND HIP



B TWO-STORY HIP

Hipped rectangular volume. Hip roof pitch is typically 4 to 10 in 12. One-story hipped front porches are common and have a shallower roof pitch. Porches vary between covering the full facade and defining the central portico.

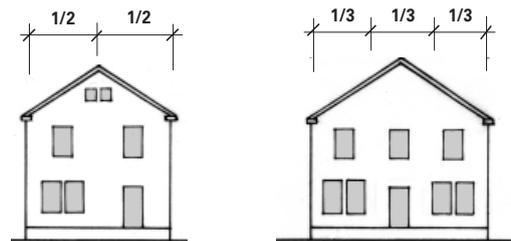
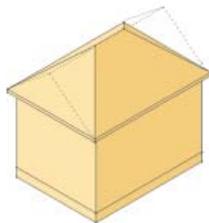
B TWO-STORY HIP



C TWO-STORY FRONT GABLE

Front-gabled rectangular volume. Gable roof pitches range from 4 to 10 in 12. As with other massing, stoops and hipped front porches are common. Porches are most often one-story. Integral two-story porches are reserved for front-gabled houses no greater than 30 feet wide.

C TWO-STORY FRONT GABLE

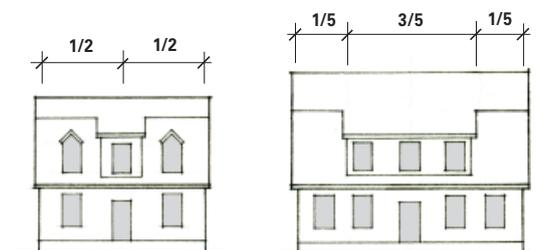
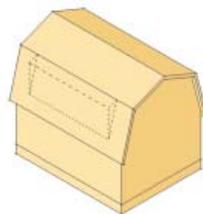


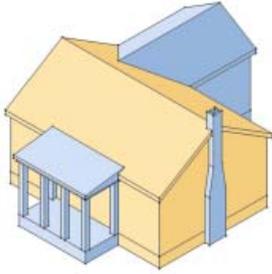
D ONE-AND-ONE-HALF-STORY GAMBREL

(Not required, but possible accent articulation)

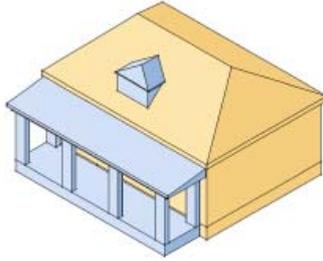
Rectangular volume with a gambrel roof parallel to the street. Roof pitch is nearly vertical on the lower slope and 4 to 6 in 12 at the top. One-story temple front porches centered on the facade extending one-third to one-fourth of the front are typical. Shed roofs are present in the bottom portion of the gambrel roof and dormer windows are also common.

D ONE-AND-ONE-HALF-STORY GAMBREL

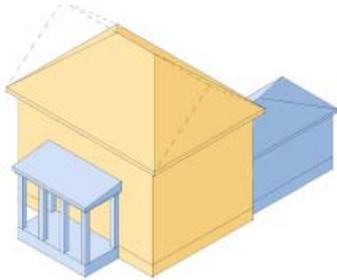




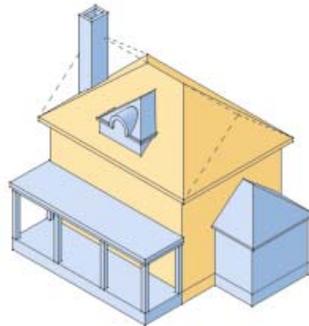
A1 Broad front with add-on porch, a rear wing, and a fireplace



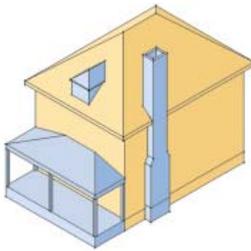
A2 Broad front hipped roof with add-on full front porch and dormer window



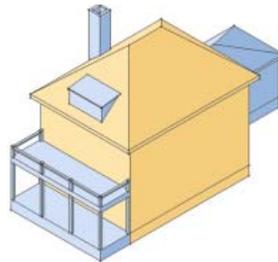
B1 Broad front hipped roof with add-on central porch and hipped rear wing



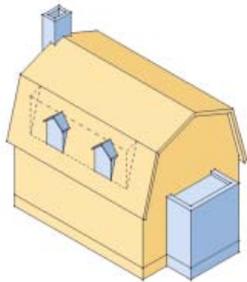
B2 Broad front hipped roof with add-on full front porch, a side wing, a central hipped dormer, and a fireplace



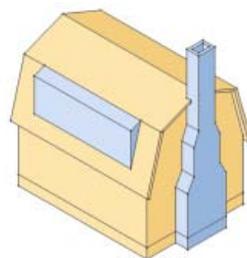
C1 Narrow front hipped roof with add-on full front porch, a central dormer, and a fireplace



C2 Narrow front hipped roof with add-on full front porch, a central shed dormer, a rear wing, and a fireplace



D1 Broad front gambrel with dormers, a roofed side wing, and a fireplace



D2 Broad front gambrel with a broad shed dormer and a prominent fireplace



POSSIBILITIES

PRECEDENTS

ONE-AND-ONE-HALF-STORY
SIDE GABLE AND HIP



TWO-STORY HIP



TWO-STORY FRONT GABLE



ONE-AND-ONE-HALF-STORY
GAMBREL



MATERIALS

SIDING/CLADDING

- » Fiber-cement clapboard or stucco
- » Lace finish not permitted

ROOFING

- » Composition shingles or concrete tile with flat profile

WINDOWS

- » Single- or double-hung and casement
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum or vinyl
- » Traditional wood profiles

TRIM

- » Stucco, wood, composition board, cellular PVC, polyurethane, or fiber cement

COLUMNS

- » Wood, or composite with Classical entasis and proportions
- » Use Tuscan, Doric, or Ionic orders

RAILINGS

- » Wood or composite top and bottom rails with square balusters

SOFFITS AND PORCH CEILING

- » Fiber-cement board, stucco, T&G wood, beaded plywood, exterior-grade plywood, or stucco

GUTTERS

- » Ogee or half-round
- » Primed or prefinished metal

- » PVC is acceptable in a color that matches trim

- » Fascia gutter permitted

DOWNSPOUTS

- » Rectangular or round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches trim or stucco cladding

SHUTTERS

- » Raised or flat paneled
- » Louvered or plank
- » Wood or composite materials, or colored vinyl
- » Hinges, shutter dogs, and latches are encouraged

CHIMNEYS

- » Stucco, brick, or manufactured stone veneer
- » Siding to match house

FRONT YARD FENCES

- » Painted wood, prefinished metal, stone, masonry, or stucco finish (if applicable)
- » Vinyl picket also permitted

REAR YARD FENCES

- » Cedar or redwood, or masonry with stucco finish
- » Vinyl and pressure-treated wood are permitted

COLORS

SIDING, WINDOWS, AND TRIM

- » Colors to be selected from the Ellis Color Palette

ROOF

- » Colors to be selected from the Ellis Color Palette

GUTTERS AND DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

WINDOWS

- » Colors to be selected from the Ellis Color Palette

SHUTTERS

- » Colors to be selected from the Ellis Color Palette

FENCING

- » Colors to be selected from the Ellis Color Palette

ELLIS EUROPEAN COUNTRY

The Ellis European Country Style is based on the early twentieth century interpretations of English architecture by American architects and builders. The source for design comes from Medieval English cottages, manor houses, and rural village vernacular houses. The American interpretations include houses with simple volumes often with front-facing gables. Dormers — gable, hip, and shed — are a dominant feature of the style. In California, the principal material for the exterior cladding is stucco. There is often a mix of exterior materials including stone, stucco or brick. Half-timbering and horizontal siding are often used as infill in gables.

Chimneys typically act as principal forms for the massing of the house. These are usually very massive, often with stucco finish, simple detailing and chimney pots. Windows are typically casements, vertical in proportion and arranged in groups of from two to five. There are relatively few windows in the facade; the dominant form is one of a solid mass with small openings.

COMMON ELEMENTS OF ELLIS EUROPEAN COUNTRY

- » Seemingly random window and door locations.
- » Vertical windows in groupings.
- » Broad expanses of wall with few door and window penetrations.
- » Roof lines extending below windows at second floor, and to top of window at first floor.
- » Simple detailing and shallow overhangs.



GALLERY OF EXAMPLES



Photo Credit: Design Lens

MASSING AND COMPOSITION

A TWO-STORY BASIC

Rectangular two-story volume with an 4 to 10 in 12 roof pitch. Cross gable entry piece in 4 to 16 in 12. Only one cross gable permitted, often expressed in plan.

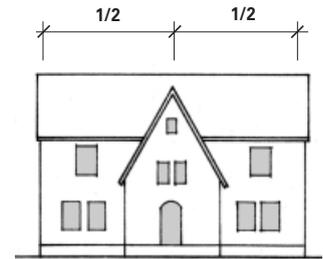
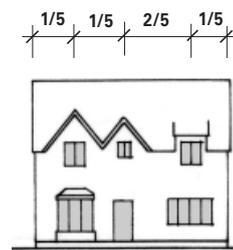
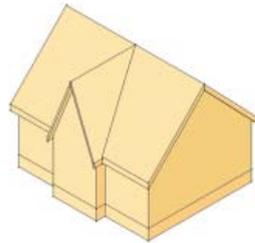
B TWO-STORY ASYMMETRICAL GABLE-FRONT L

Rectangular two-story volume with a main body roof of 4 to 12 in 12 with either a gable or a hipped roof. Cross-gable volume with a 4 to 16 in 12 roof. Cross gable is asymmetrical and contains an inset entry porch. At times, the roof may transition to a shallower pitch over the entry porch.

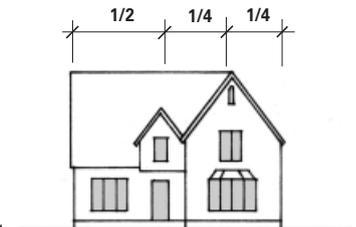
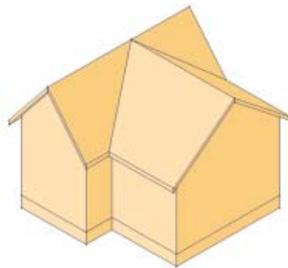
C SIDE GABLE WITH DOMINANT CROSS-GABLE

Rectangular two-story volume with an 4 to 10 in 12 roof pitch. One dominant cross gable organizes composition with a 4 to 16 in 12 pitch. Secondary and tertiary gables in the primary roof mass, or as dormers, are common. Element roof may be gable, hip, or partial hip. Front entry is often inset into building mass.

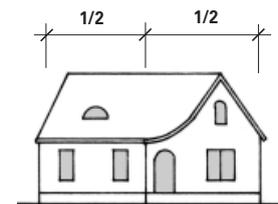
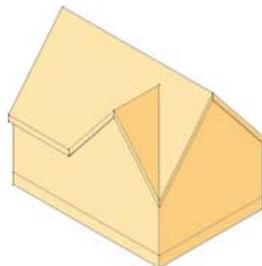
A TWO-STORY BASIC

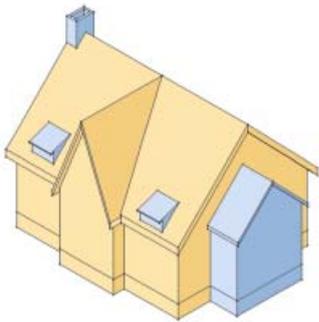


B TWO-STORY ASYMMETRICAL GABLE-FRONT L

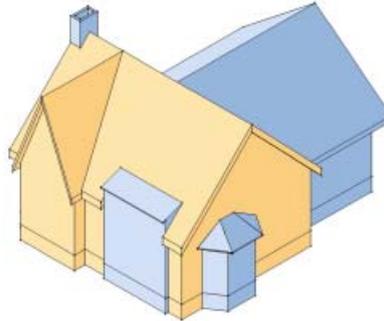


C SIDE GABLE WITH DOMINANT CROSS-GABLE

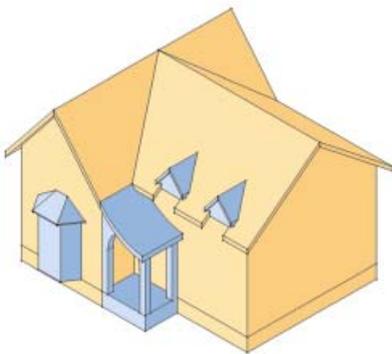




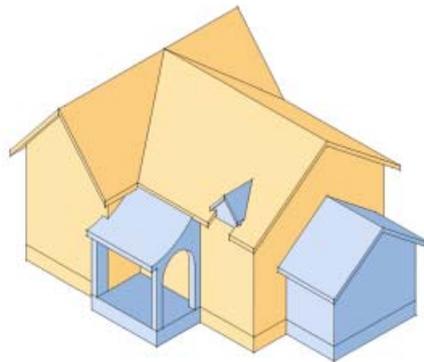
A1 Side gable with symmetrically placed dormers, a chimney centered on the gable ridge and a side wing



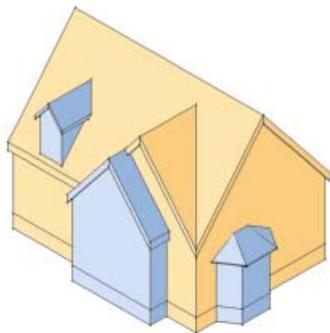
A2 Side gable with off-center cross gable, street-facing dormer, a chimney centered on the gable ridge, a side bay window, and rear wing



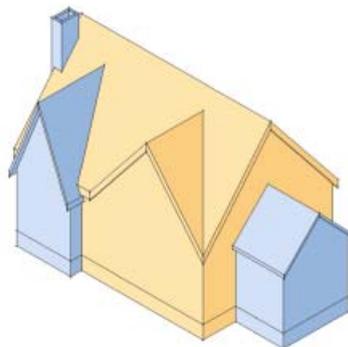
B1 Side gable L with street-facing bay window, street-facing dormers and inset entry porch



B2 Side gable L with street-facing dormer, a side wing and entry porch



C1 Side gable with nested street-facing gable, a street-facing dormer and side bay window



C2 Side gable with multiple street-facing gables, a chimney placed off-center of gable and a side wing



POSSIBILITIES

PRECEDENTS

TWO-STORY BASIC



TWO-STORY ASYMMETRICAL GABLE-FRONT L



SIDE GABLE WITH DOMINANT CROSS-GABLE



MATERIALS

SIDING/CLADDING

- » Fiber-cement clapboard or stucco
- » Half-timbering for second-story accents

ROOFING

- » Composition shingles, concrete tile with flat profile, or manufactured slate

WINDOWS

- » Single- or double-hung and casement
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum or vinyl
- » Traditional wood profiles

TRIM

- » Stucco, wood, composition board, cellular PVC, cast stone, polyurethane, or fiber cement

COLUMNS

- » Wood or composite

RAILINGS

- » Ornamental metal preferred
- » Wood or composite top and bottom rails with square balusters

SOFFITS AND PORCH CEILING

- » Fiber-cement board, stucco, T&G wood, beaded plywood, exterior-grade plywood, or stucco

GUTTERS

- » Ogee or half-round
- » Primed or prefinished metal
- » PVC is acceptable in a color that matches trim
- » Fascia gutter permitted

DOWNSPOUTS

- » Rectangular or round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches trim or stucco cladding

SHUTTERS

- » Raised or flat paneled
- » Louvered or plank
- » Wood or composite materials, or colored vinyl
- » Hinges, shutter dogs, and latches are encouraged

CHIMNEYS

- » Stucco, brick, or manufactured stone veneer
- » Siding to match house

FRONT YARD FENCES

- » Painted wood, prefinished metal, stone, masonry, or stucco finish

REAR YARD FENCES

- » Cedar or redwood, or masonry with stucco finish
- » Vinyl and pressure-treated wood are permitted

COLORS

SIDING, WINDOWS, AND TRIM

- » Colors to be selected from the Ellis Color Palette

ROOF

- » Colors to be selected from the Ellis Color Palette

GUTTERS AND DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

WINDOWS

- » Colors to be selected from the Ellis Color Palette

SHUTTERS

- » Colors to be selected from the Ellis Color Palette

FENCING

- » Colors to be selected from the Ellis Color Palette

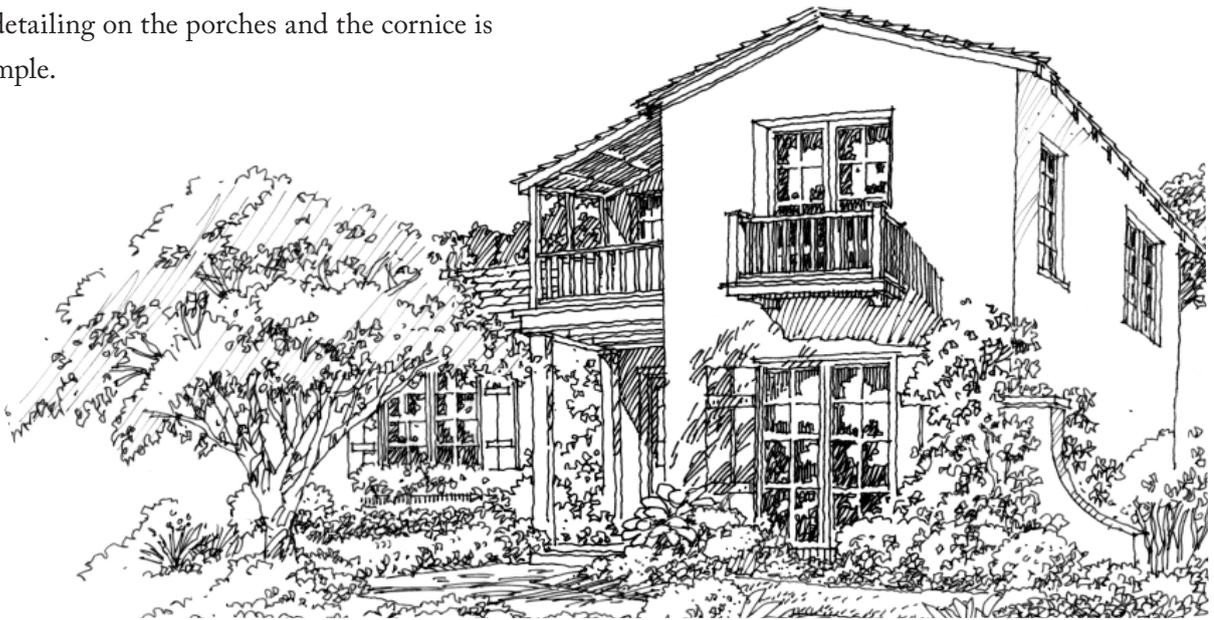
ELLIS MEDITERRANEAN REVIVAL

The Mediterranean Revival style draws on the distinctive architectural character of the Monterey Peninsula as influenced by the popular California Spanish Colonial style. The style dates back to the early nineteenth century. The first revival started around 1925 amidst a very popular renaissance of Spanish architectural forms throughout the region. The Mediterranean style emerged from Spanish adobe precedents that date between 1815 and 1860. This style combines traditional adobe construction, local to this region, with Spanish Colonial influences. The result is a distinctive architectural vocabulary, characterized by simple forms with wooden decorative details. These houses used Colonial window and door detailing borrowed from New England carpentry techniques and added a rustic timber porch with exposed rafters and joists. The roofs had a very shallow pitch, either gabled or hipped, and were covered with clay tiles or cut wooden shingles.

The signature balcony on the front of the house was a prelude to the porch that often surrounded or defined a private courtyard in the back of the house. The detailing on the porches and the cornice is extremely simple.

COMMON ELEMENTS OF ELLIS MEDITERRANEAN REVIVAL

- » Simple, straightforward volumes, sometimes with a gable wing facing the street.
- » Shallow sloped roofs, either hip or gable, with shingles and tile.
- » Typically two-story.
- » Simplified versions of double-hung Colonial windows and doors.
- » Multi-pane window appearance, wide in proportion, usually with 4 over 4 or 6 over 6 pane patterns.
- » Street facing, projecting timber balconies or inset porches with exposed rafters.



GALLERY OF EXAMPLES

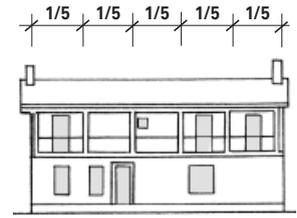
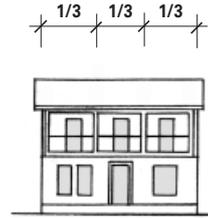
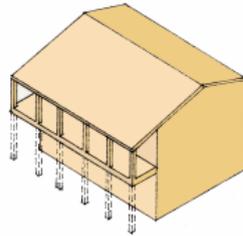


MASSING AND COMPOSITION

A TWO-STORY SIDE GABLE

Rectangular volume with a 4 to 6 in 12 roof pitch and gable or hip parallel to the street. Second floor, full-front projecting balconies or two-story full-front porches are encouraged with this massing.

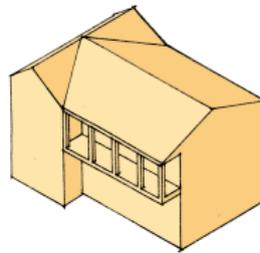
A TWO-STORY SIDE GABLE



B TWO-STORY CROSS-GABLE

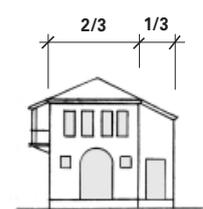
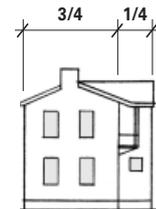
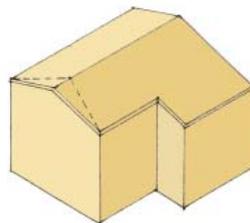
Cross-gabled volume with a 4 in 12 gable or hip facing the street. The width of the bay facing the street is typically two-fifths that of the main body. Often an in-line gabled or hipped wing added to the front leg of the L. Cantilevered balconies are encouraged.

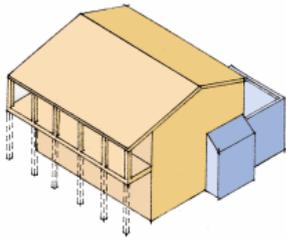
B TWO-STORY CROSS-GABLE



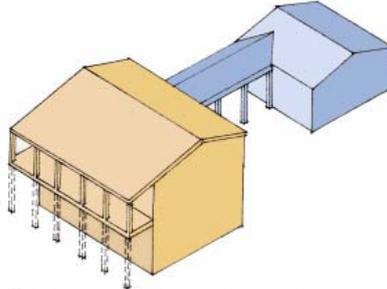
C TWO-STORY FRONT GABLE L
L-shaped volume perpendicular to the street with second-story cantilevered side porch. Hipped and gabled roofs with a 4 in 12 pitch are both permitted.

C TWO-STORY FRONT GABLE L

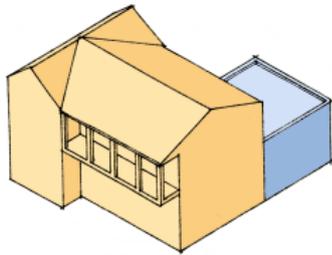




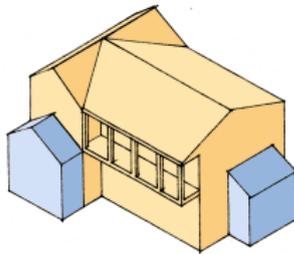
A1 Two-story side gable with a rear wing and a fireplace



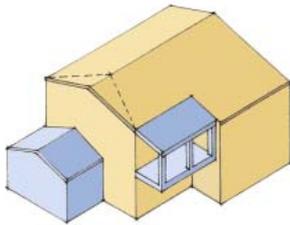
A2 Two-story side gable with loggia connecting to garage



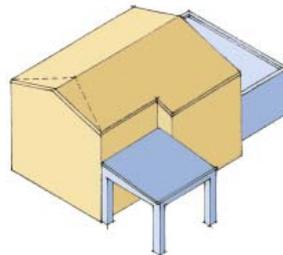
B1 Two-story cross-gable with rear wing added



B2 Two-story cross-gable with a front projecting bay and a bay window



C1 Two-story front gable L with add-on entry bay and a cantilevered side porch



C2 Two-story front gable L with a rear wing and a port cochère



POSSIBILITIES

PRECEDENTS

TWO-STORY SIDE GABLE



TWO-STORY CROSS-GABLE



TWO-STORY GABLE FRONT L



MATERIALS

SIDING/CLADDING

- » Stucco and optional second floor wood or fiber-cement clapboard
- » Lace finish not permitted

ROOFING

- » Concrete tile in flat or barrel profile, multiple stacked tile at eaves.
- » Architectural asphalt shingles also permitted

WINDOWS

- » Single or double-hung, casement, and picture units, energy-efficient wood, PVC clad, aluminum-clad, cellular PVC, aluminum or vinyl with traditional wood profiles

COLUMNS

- » Stucco or composite

BALCONIES

- » Wood, corbelled stucco with metal railings, or fiber cement

RAILINGS

- » Wood or fiber cement top and bottom rails with square or turned balusters

EAVES

- » Starter board or v-groove sheathing

EXTERIOR CEILINGS

- » Plank and beam, or stucco

GUTTERS

- » Half-round metal or PVC
- » Fascia gutter also permitted

DOWNSPOUTS

- » Round metal or PVC

SHUTTERS

- » Raised or flat panel, louvered, or plank, in wood or composite material or a colored vinyl

CHIMNEYS

- » Stucco

FRONT YARD FENCES

- » Masonry with stucco finish, wrought iron accents permitted
- » Wrought iron or aluminum permitted

REAR YARD FENCES

- » Cedar or redwood, or masonry with stucco finish
- » Vinyl and pressure-treated wood are permitted

COLORS

STUCCO

- » Colors to be selected from the Ellis Color Palette

ROOF TILES

- » Colors to be selected from the Ellis Color Palette

WINDOWS

- » Colors to be selected from the Ellis Color Palette

TRIM/SHUTTERS

- » Colors to be selected from the Ellis Color Palette

GUTTERS

- » Colors to be selected from the Ellis Color Palette

DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

WALLS/FENCING

- » Colors to be selected from the Ellis Color Palette

ELLIS SPANISH COLONIAL

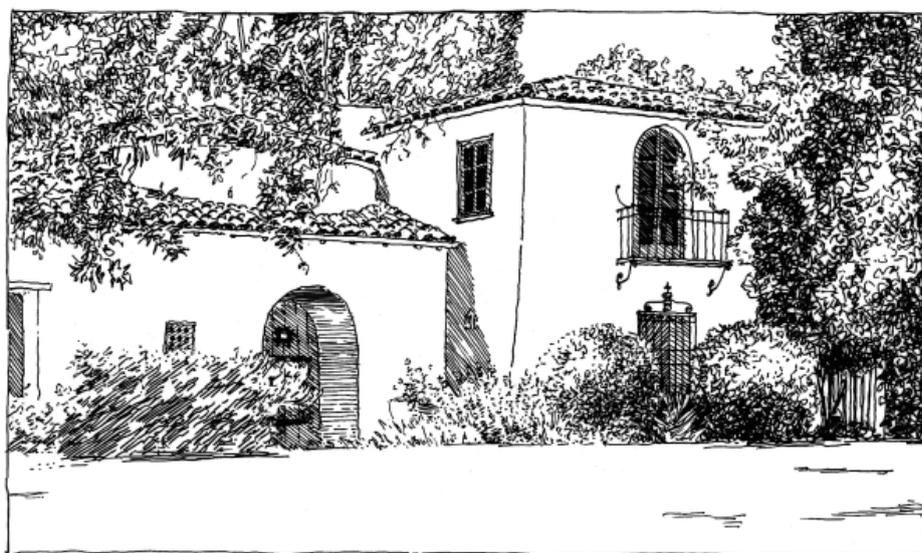
California houses of the 1920s and 1930s were designed in a wide variety of styles, yet the Spanish Revival style was by far the most popular due to its early association with the region, its adaptability to the local landscape and climate, and its charm and character. A major impetus for revival of Spanish architecture came from Bertram Goodhue's designs for the 1915 Pan Pacific Exposition in San Diego.

The Spanish Colonial style is a catalog of styles, unified by the use of arches, courtyards, strong form and mass, plain wall surfaces, and tile roofs; all are derived from Mediterranean architectural styles. Spanish Colonial style is most often characterized by an informal plan arrangement and massing.

Spanish-style houses typically have low, long spreading sweeps of wall with a minimum of penetration (constructed so as to have the appearance of thick masonry). They also have tiled, low pitched roofs (to accentuate the horizontal character); covered patios, loggias, or cloisters; and substantial doors. In a Spanish-style house, most of the effect comes from a correct use of proportion and a spare, well-placed use of ornament. The house's fundamental charm lies in the contrast of warm sunlight and cool shadows (light and shade), in the use of materials, in texture and color, and in its austere simplicity.

COMMON ELEMENTS OF ELLIS SPANISH COLONIAL

- » Stucco walls with a handmade/formed appearance.
- » Shallow sloped, tile roofs in variegated colors.
- » Irregular window and door composition.
- » Covered porches and loggias.
- » Balconies with decorative ironwork.



GALLERY OF EXAMPLES

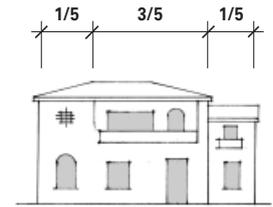
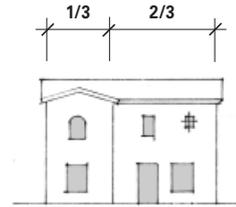
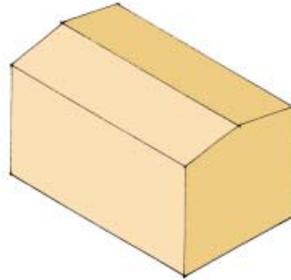


MASSING AND COMPOSITION

A TWO-STORY SIDE GABLE

Rectangular volume with a 3.5 in 12 roof pitch and gable or hip parallel to the street. Inset patios on first floor are common.

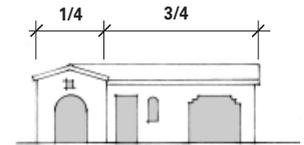
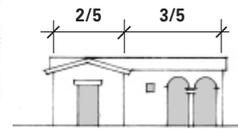
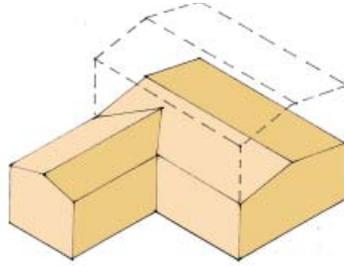
A TWO-STORY SIDE GABLE



B ONE-STORY FRONT GABLE L

One- or two-story main body with a 3.5 in 12 roof pitch, and a one-story projecting wing with a gable which faces the street. Inset loggias are encouraged.

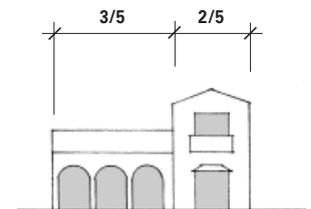
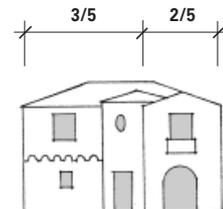
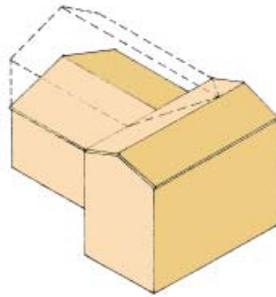
B ONE-STORY FRONT GABLE L

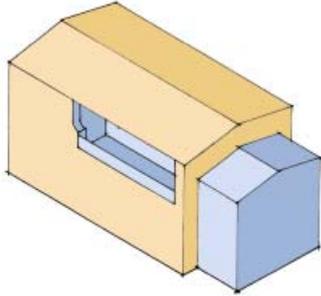


C TWO-STORY FRONT GABLE L

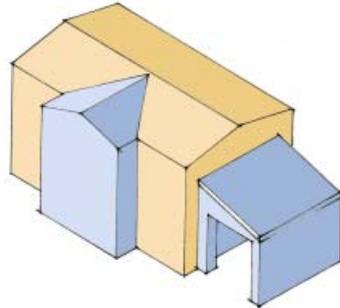
One- or two-story main body with a 3.5 in 12 roof pitch, and a two-story projecting wing with a gable which faces the street. The width of the street-facing bay is typically two-fifths that of the main body. Inset patios or loggias are encouraged.

C TWO-STORY FRONT GABLE L

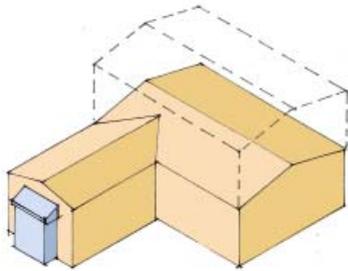




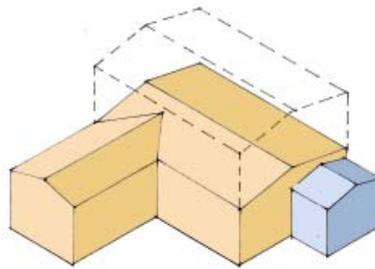
A1 Two-story side gable with inset porch and attached side wing



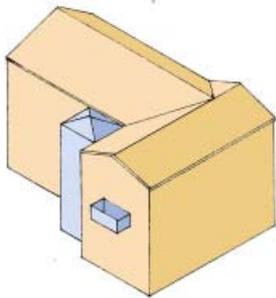
A2 Two-story side gable with attached side garage and two-story central bay



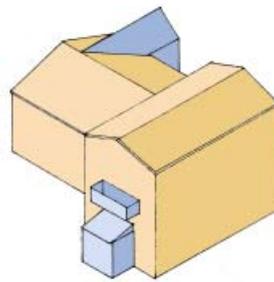
B1 One-story front gable L with side wing attached off-center



B2 One-story front gable L with protruding entry piece



C1 Two-story front gable L with street-facing balcony and a tower at the intersection of the L



C2 Two-story front gable L with street-facing window and balcony, and additional rear wing



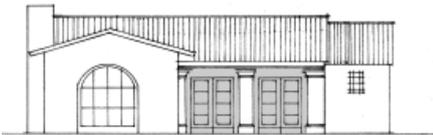
POSSIBILITIES

PRECEDENTS

TWO-STORY SIDE GABLE



ONE-STORY FRONT GABLE L



TWO-STORY FRONT GABLE L



MATERIALS

SIDING/CLADDING

- » Stucco with handmade/formed appearance; skip-trowel not allowed

ROOFING

- » Terra cotta barrel tile
- » Multiple stacked tile at eaves

WINDOWS

- » Energy-efficient wood, PVC clad, aluminum-clad, or aluminum
- » True divided light appearance ($\frac{3}{4}$ -inch horizontal exterior muntins)
- » Grilles shall be solid stock or wrought iron

COLUMNS AND ARCHES

- » Stucco (square, rectangular, or round), or round cast stone/concrete

EXTERIOR STAIRS

- » Terra cotta pavers for treads with stucco or decorative tile
- » Risers, sloped or stepped stucco walls as guard-railing. Solid-stock metal rails with a wrought iron appearance are also permitted.

BALCONIES

- » Metal with a wrought iron appearance or stucco with metal railings

EAVES

- » V-groove sheathing with wood appearance
- » Open eaves with wood appearance for rafter tails and soffit
- » Stucco molded eaves are permitted.

EXTERIOR CEILINGS

- » Plank and beam

GUTTERS

- » Half-round metal or PVC

DOWNSPOUTS

- » Round metal or PVC

SHUTTERS

- » Flat paneled
- » Plank
- » Wrought iron hinges, shutter dogs encouraged

CHIMNEYS

- » Stucco with handmade/formed appearance

FRONT YARD FENCES

- » Prefinished metal, or masonry

REAR YARD FENCES

- » Painted wood, prefinished metal, or masonry

COLORS

STUCCO

- » Colors to be selected from the Ellis Color Palette

ROOF TILES

- » Colors to be selected from the Ellis Color Palette

WINDOWS

- » Colors to be selected from the Ellis Color Palette

TRIM/SHUTTERS

- » Colors to be selected from the Ellis Color Palette

GUTTERS

- » Colors to be selected from the Ellis Color Palette

DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

FENCING

- » Colors to be selected from the Ellis Color Palette

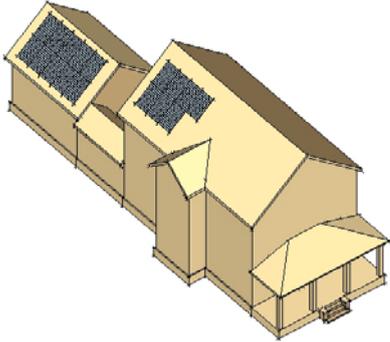
PHOTOVOLATIC PANEL GUIDELINES

Photovoltaics may be used in the community. Multiple application techniques are possible:

A ROOF MOUNT

Photovoltaics are mounted a few inches above the roof structure, during the initial installation of the roof. Choices about where to site panels are based on building orientation, surface pitch, and public view.

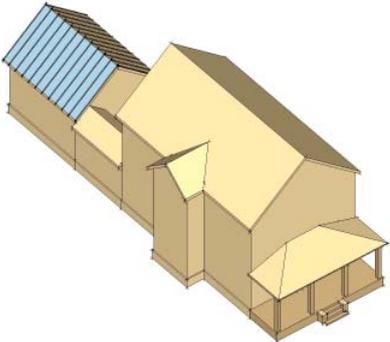
A ROOF MOUNT



B BUILDING INTEGRATED PV ARRAY (BIPV)

Applications of photovoltaic panels may be integral to the building system. Roof materials with PV cells can replace traditional roofing materials, as long as they are stylistically appropriate. BIPV's should be placed on garage and private-facing surfaces.

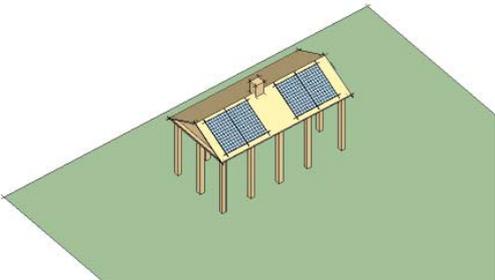
B BUILDING INTEGRATED PV ARRAY (BIPV)



C SHADE STRUCTURE

Photovoltaic panels may be applied to roof shade structures on private lots or in public parks and spaces. The application may be either mounted or integral, however, special attention must be paid to the handling of wires and ensuring that the panels are not visible from public view.

C SHADE STRUCTURE



The graph to the right shows the optimal building orientation and photovoltaic panel pitch to maximize electrical energy generation

	Flat	4:12	7:12	12:12	21:12	Vertical
South						
SSE, SSW						
SE, SW						
ESE, WSW						
East/West						



DESIGN CONSIDERATIONS

- » Place panels on southern-most facing roof surfaces. Pitch of roof determines optimal solar capture (see chart on page 2|116).
- » Photovoltaic panels may not be used on front or street facing elevations
- » Prioritize garages and roofs facing private yards



DESIGN CONSIDERATIONS

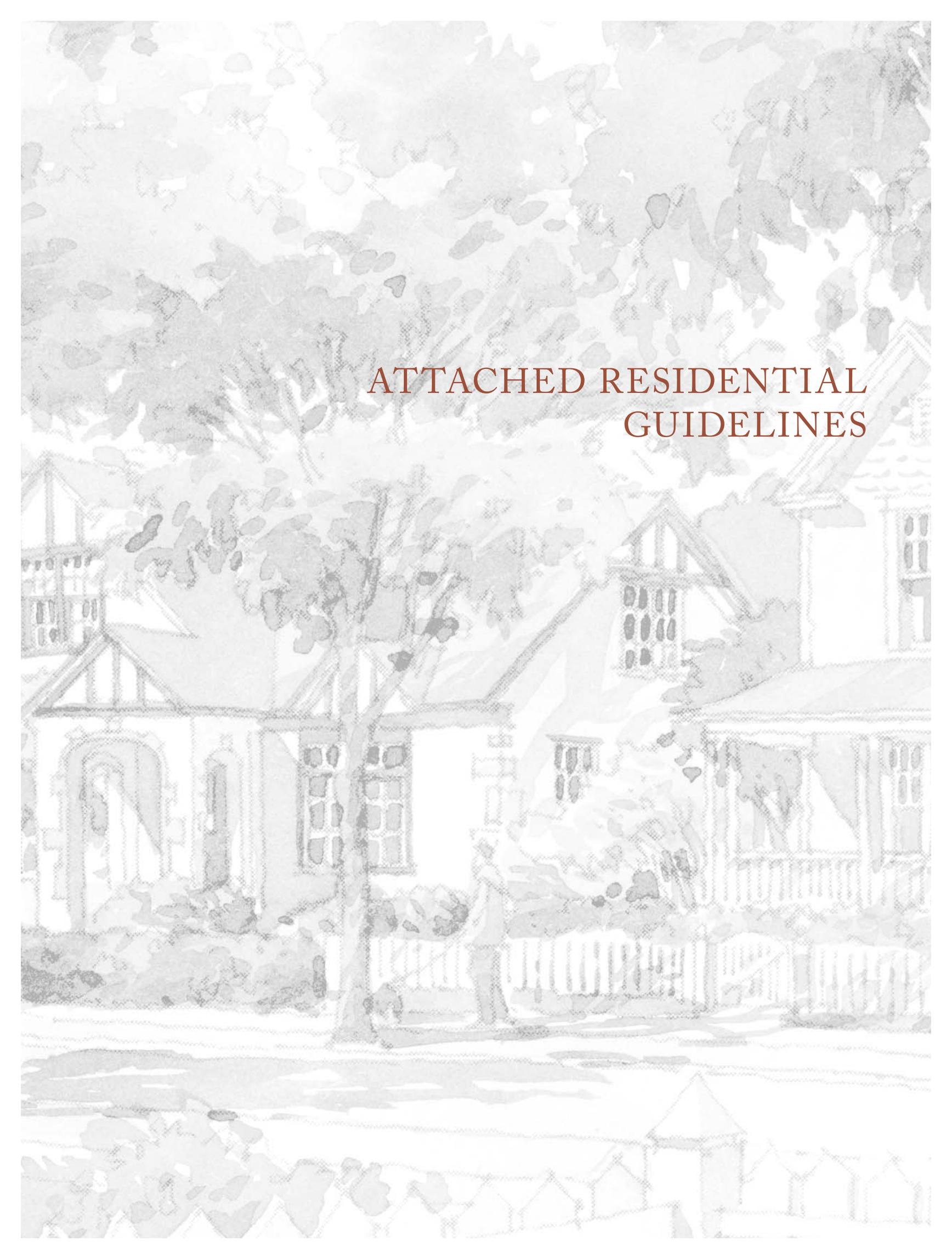
- » Material replacement can include standing seam metal, masonry tiles, and shingles
- » Color and material should be follow guidelines for each style
- » Photovoltaic panel systems may not be used on front or street facing elevations



DESIGN CONSIDERATIONS

- » Photovoltaic panel systems may not be used on front or street facing elevations
- » Wiring underneath panels must be carefully concealed
- » Vines and plantings must be trimmed and kept separate from wiring
- » May include shading devices over rear or side porches



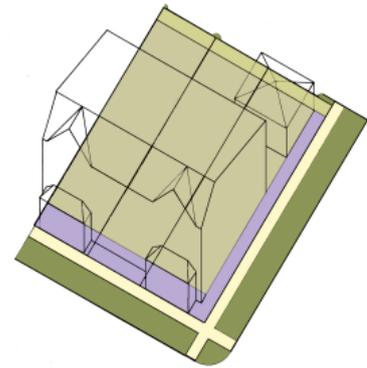


ATTACHED RESIDENTIAL
GUIDELINES

COMMUNITY PATTERNS

This Community Patterns section contains specific requirements for placing Attached Residential buildings on lot types within the plan. These guidelines were developed as part of the master planning process and are meant to ensure that the diversity and character of Ellis called for in the Modified Ellis Specific Plan is implemented and maintained.

All housing designs and site plans must be reviewed and approved via the Ellis Design Review process set forth in the Modified Ellis Specific Plan, Section 6: Plan Review.



View of a residential address at Ellis

SECTION 3 ATTACHED RESIDENTIAL Community Patterns

TOWNHOUSE LOTS

Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- Interior Lot Width: 16-30 feet
- Corner Lot Width: Increased by 5-10 feet
- Lot Depth: Varies

MINIMUM HOUSE SETBACKS

- Front Yard: 10 feet to the building
- Street Side: 10 feet to the building
- Rear Yard: 5 feet for all structures (5 feet maximum to the garage encouraged on corner lots)

FACADE ZONE

- Front Facade Zone: 10 feet
- Side Facade Zone: 5 feet
- 70% of lot footage must have building within Facade Zone

ENCROACHMENTS INTO SETBACKS

- Porch: 5 feet into front yard and street side setbacks only
- Balconies: 5 feet into front yard and street side setbacks only
- Bay Windows: 2 feet into front yard and street side setbacks only
- Fireplaces: 2 feet into street side setback only
- Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2' into rear yard setback only

PERMITTED GARAGE TYPES

- Detached (A)
- Semi-Attached (C)
- Attached (B)
- Tuck Under

GARAGE REQUIREMENTS

- Minimum 2 off-street parking spaces; minimum one-car garage required; two-car garage permitted
- Garages must be a minimum of 22 feet deep

SECONDARY RESIDENTIAL UNITS

- Not permitted

FRONT WALKS

- Site stairs must be within 1 foot of finished grade of constructing sidewalk.

Elements of the House

- MAIN BODY
- PORCH
- WING
- GARAGE
- PARKING PAD/DRIVEWAY

ELLIS PATTERN BOOK

Each lot type found in the Attached Residential Community Patterns Section is described by four specific diagrams:

LOT ZONES AND SETBACKS
Lot size, minimum setbacks and allowable encroachments into those setbacks, as well as the facade zones are described. These zones aid in properly situating the building with respect to its neighbors to create a harmonious streetscape.

ELEMENTS OF THE HOUSE
The main body, wings, bays, as well as the requirements for garages are described in this diagram.

SECTION 3 ATTACHED RESIDENTIAL Community Patterns

TOWNHOUSE LOTS

Yard Requirements

FENCE REQUIREMENTS

- Front yard fencing is not permitted, except in accordance with the Specific Plan
- Side and rear yard fences are encouraged for privacy
- Street side fencing is permitted on rear half of lot only
- Maximum height of side yard and rear yard fencing: 6 feet
- Top 2 feet of 6-foot fence facing streets and/or lanes requires change in articulation and 40% opacity

FENCE SETBACKS

- Rear Yard: minimum 2 feet from lane; 5 feet from rear property line in street side facade zone
- Street Side: 4 feet from walk

LANDSCAPE

- Landscaping is required in all areas not enclosed with a fence
- Foundation planting is required against buildings or fences facing streets
- Plants other than grass are encouraged along public right-of-way in the Planting Zone

PLAN MINIMUM

- Plans should contain significant variation in floor plan, massing, and garage type
- Each block face of three or more units must contain at least 3 different plan types
- Number of floor plans developed based upon number of lots:
 - 100 or fewer lots = 2 plans
 - 101 or more lots = 3 plans

ELEVATION PER PLAN MINIMUM

- Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- Elevations may not be required on a block face or opposing block face without material, color or trim variation
- Number of elevations developed based upon number of lots developed:
 - 100 or fewer lots = 2 elevations
 - 101 or more lots = 3 elevations

GENERAL REQUIREMENTS

- Each elevation is encouraged to have at least one alternative option for each of the following:
 - exterior siding material
 - exterior trim
 - porch
 - porch hand rail
- Maximum of three buildings of the same style may be located next to each other
- Identical buildings (defined as having the same front facade) may not be located on adjacent lots

General Requirements

ELLIS PATTERN BOOK

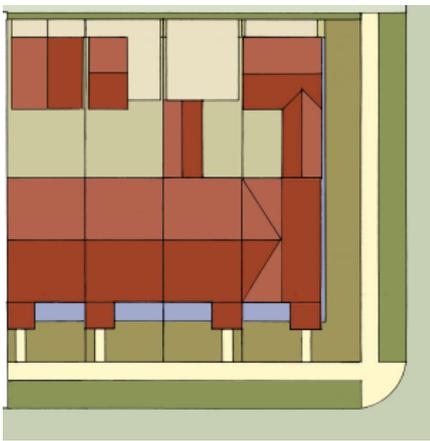
YARD REQUIREMENTS
Fencing and landscape requirements are set forth in this diagram.

GENERAL REQUIREMENTS
The issues of required plan types, elevations, and materials are discussed to establish a refined residential building.

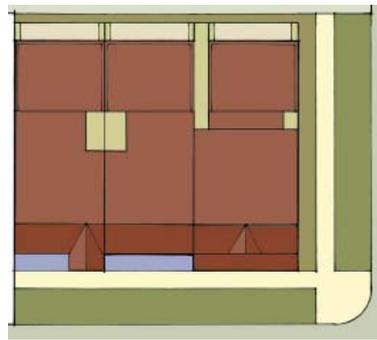
General Conditions pages for lots

LOT TYPES

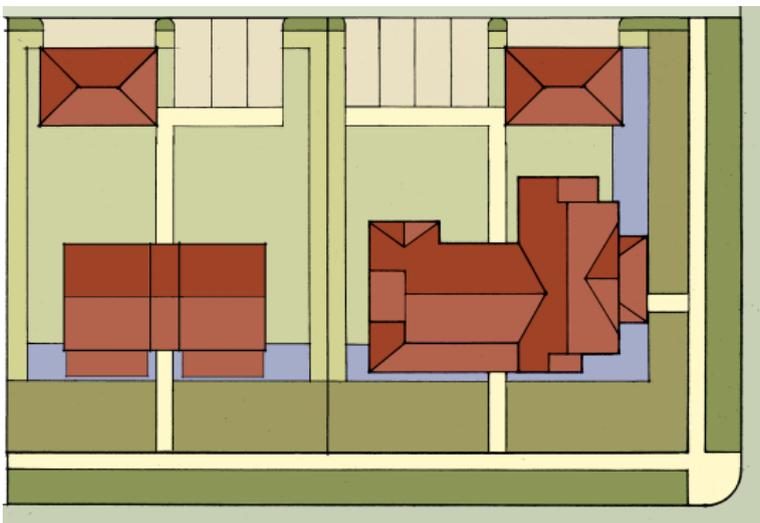
Ellis offers a variety of attached lot types, 20 feet or 30 feet wide and up. These lot types include: Townhouses, Live/Work units, and Mansion Apartments. Many of these residential types have parking accessed by a rear lane utilizing either a garage, carport, or paved parking pad, providing for continuous front yard landscaping uninterrupted by parked cars and driveways. Attached lot types are mixed throughout the community. The description of lot types on the next page are followed by a description of the conditions for each of the Attached Residential lot types beginning on page 6 of this Section.



Townhouse Lots



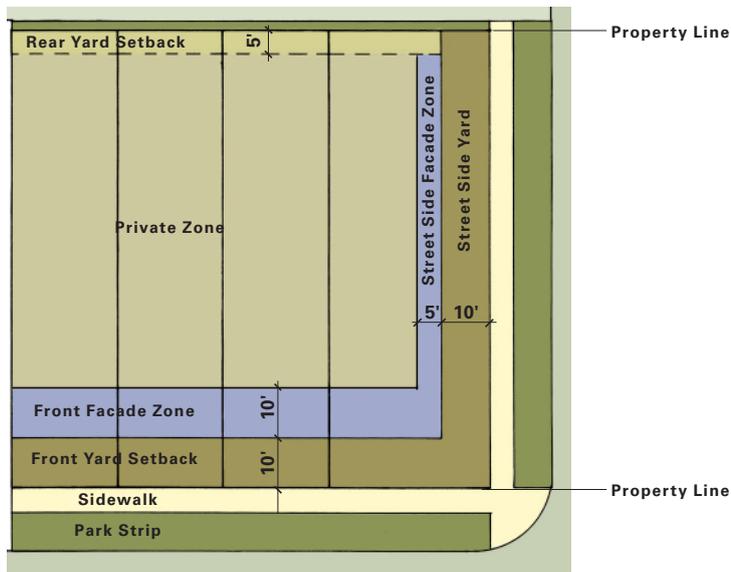
Live/Work Units



Mansion Apartments

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TOWNHOUSE LOTS



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 16–30 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Varies

MINIMUM HOUSE SETBACKS

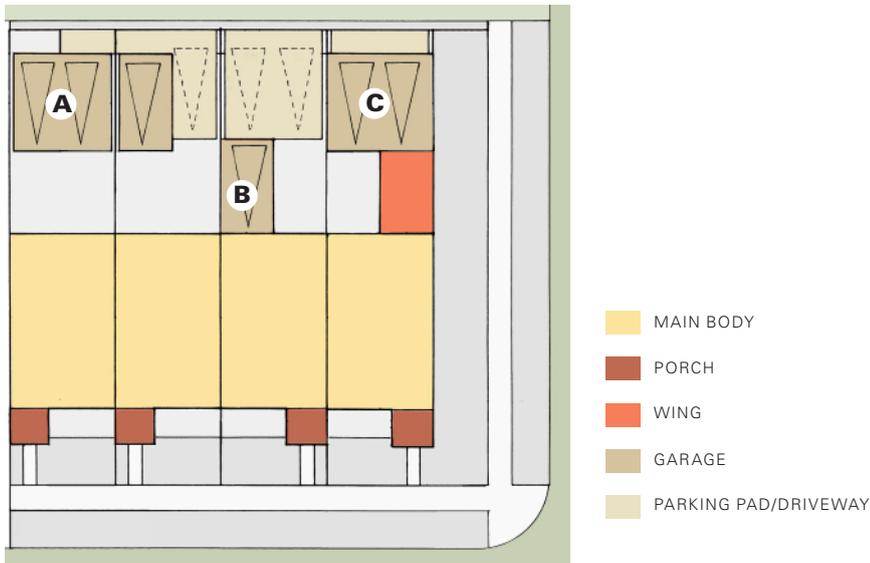
- » Front Yard: 10 feet to the building
- » Street Side: 10 feet to the building
- » Rear Yard: 5 feet for all structures (5 feet maximum to the garage encouraged on corner lots)

FACADE ZONE

- » Front Facade Zone: 10 feet
- » Side Facade Zone: 5 feet
- » 70% of lot frontage must have building within Facade Zone

ENCROACHMENTS INTO
SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setback only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Detached (A)
- » Semi-Attached (C)
- » Attached (B)
- » Tuck Under

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum one-car garage required; two-car garage permitted
- » Garages must be a minimum of 22 feet deep

- » Single parking pad permitted adjacent to garage (except on street side of corner lots)
- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Garage doors shall not face streets

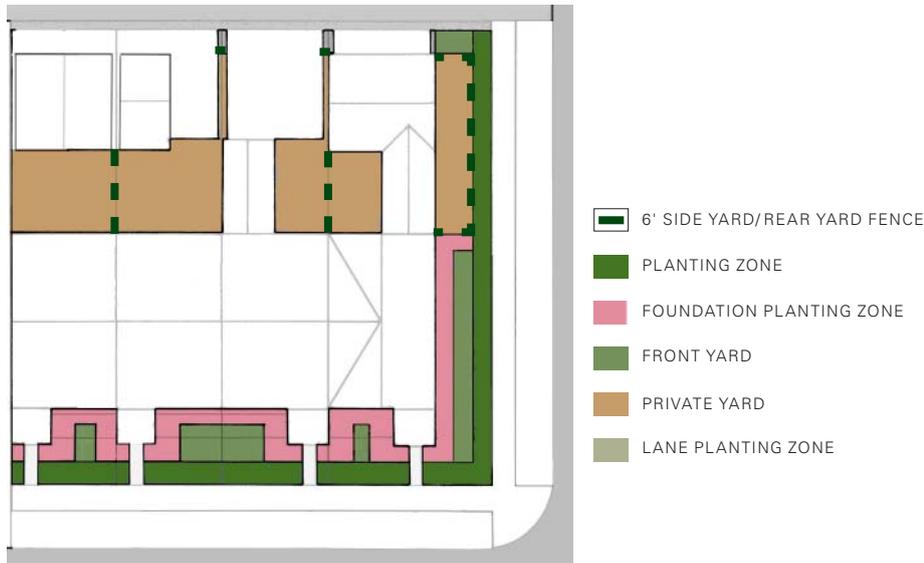
SECONDARY RESIDENTIAL UNITS

- » Not permitted

FRONT WALKS

- » Site stairs must be within 1 foot of finished grade if constructing cheek walls

TOWNHOUSE LOTS



Yard Requirements

FENCE REQUIREMENTS

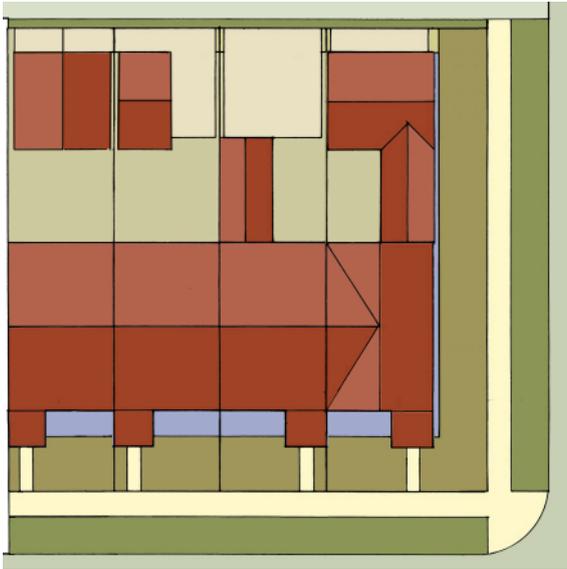
- » Front yard fencing is not permitted, except in accordance with the Modified Specific Plan
- » Side and rear yard fences are encouraged for privacy
- » Street side fencing is permitted on rear half of lot only
- » Maximum height of side yard and rear yard fencing: 6 feet
- » Top 2 feet of 6-foot fence facing streets and/or lanes requires change in articulation and 40% opacity

FENCE SETBACKS

- » Rear Yard: minimum 2 feet from lane; 5 feet from rear property line in street side facade zone
- » Street Side: 4 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Plans should contain significant variation in floor plan, massing, and garage type
- » Each block face of three or more units must contain at least 3 different plan types
- » Number of floor plans developed based upon number of lots developed:
 - › 100 or fewer lots = 2 plans
 - › 101 or more lots = 3 plans

ELEVATION PER PLAN MINIMUM

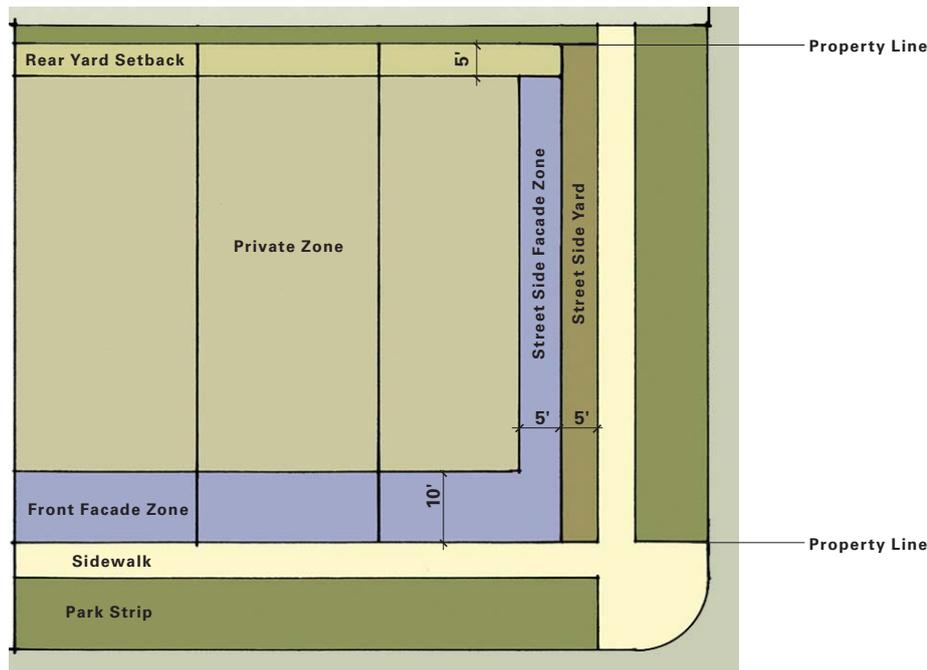
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
 - › 100 or fewer lots = 2 elevations
 - › 101 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
 - › exterior siding material
 - › exterior trim
 - › porch
 - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three buildings of the same style may be located next to each other
- » Identical buildings (defined as having the same front facade) may not be located on adjacent lots

LIVE/WORK LOTS



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Interior Lot Width: 16–30 feet
- » Corner Lot Width: Increased by 5–10 feet
- » Lot Depth: Varies

MINIMUM SETBACKS

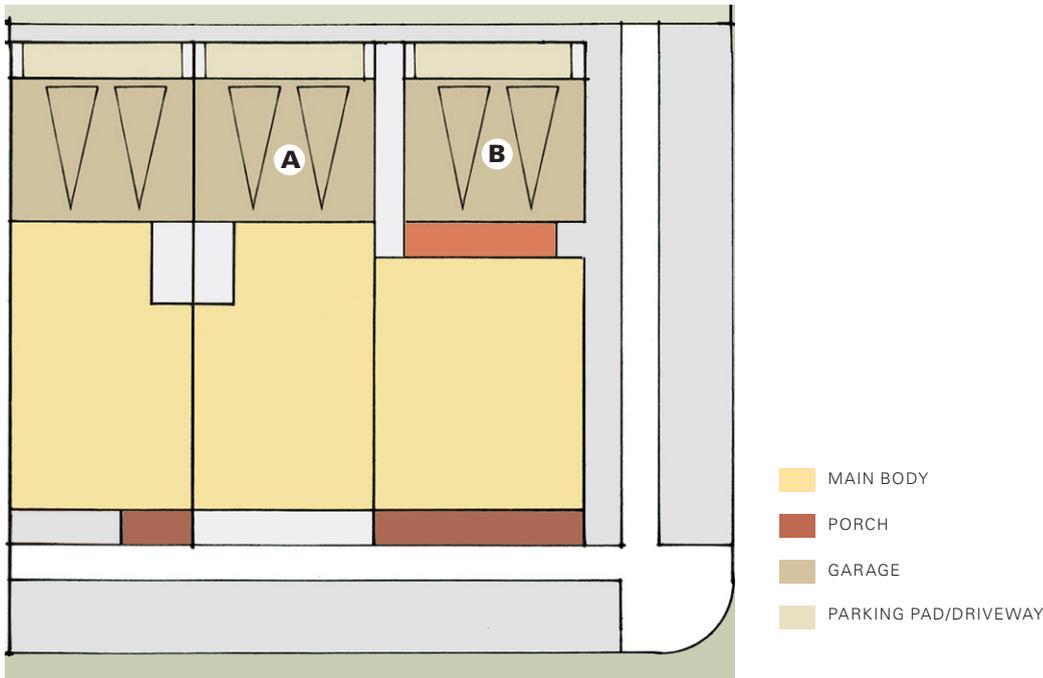
- » Front Yard: 0 feet to the building
- » Street Side Yard: 5 feet to the building
- » Rear Yard: 5 feet for all structures (5 feet maximum to the garage encouraged on corner lots)

FACADE ZONE

- » Front Zone: 10 feet
- » Street Side Zone: 5 feet
- » 70% of lot frontage must have building within the Facade Zone on rectangular lots

ENCROACHMENTS INTO
SETBACKS

- » Balconies: 5 feet into street side setback only
- » Bay Windows: 2 feet into street side setback only
- » Fireplaces: 2 feet into street side setback only
- » Anything above the first floor ceiling, including cantilevers, carport roofs, trellis canopies, and habitable space: 2 feet into rear yard setback only



Elements of the House

PERMITTED GARAGE TYPES

- » Semi-Attached (B)
- » Attached (A)
- » Tuck Under

GARAGE REQUIREMENTS

- » Minimum 2 off-street parking spaces; minimum one-car garage required; two-car garage permitted
- » Garages must be a minimum of 22 feet deep

- » Single parking pad permitted adjacent to garage (except on street side of corner lots)
- » Provided parking pads shall be a minimum of 9 by 18 feet
- » Garage doors shall not face streets

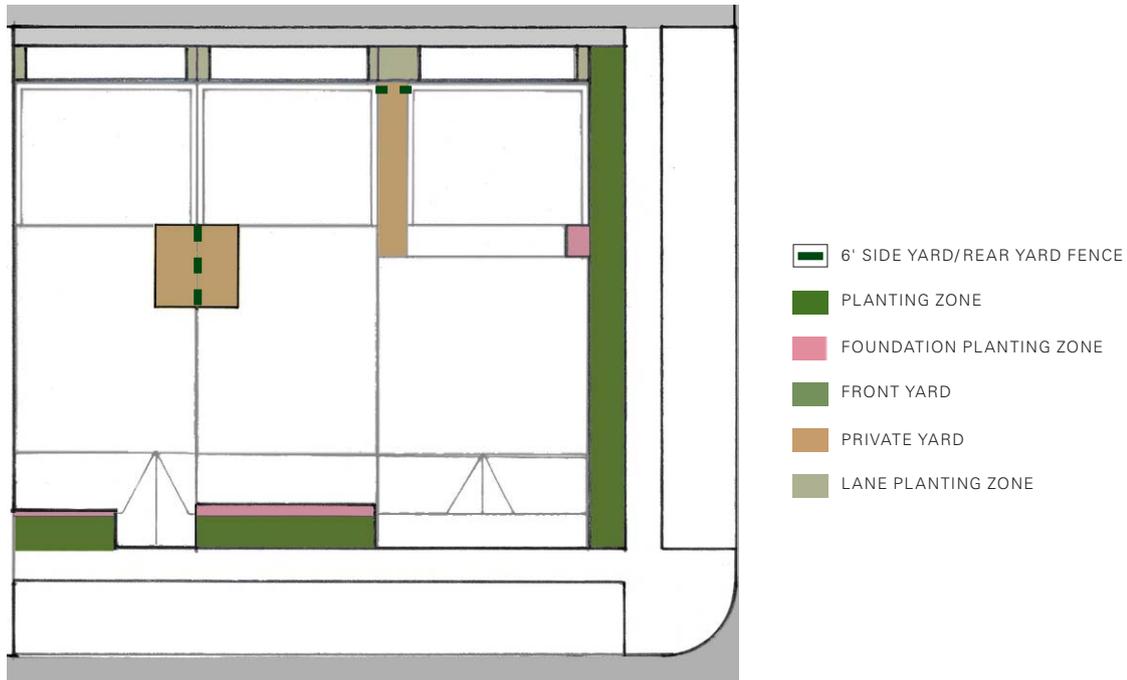
SECONDARY RESIDENTIAL UNITS

- » Not permitted

FRONT WALKS

- » Site stairs must be within 1 foot of finished grade if constructing cheek walls

LIVE/WORK LOTS



Yard Requirements

FENCE REQUIREMENTS

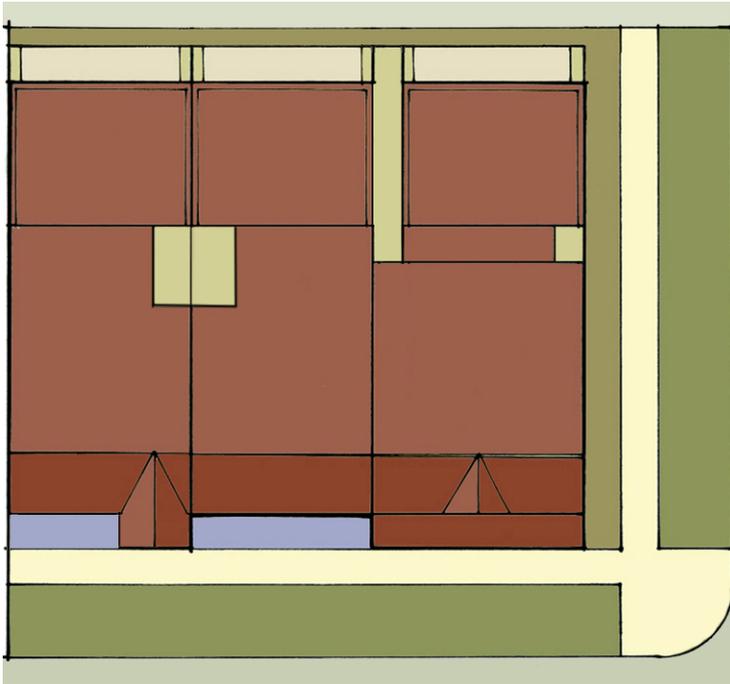
- » Front yard fencing is not permitted, except in accordance with the Modified Specific Plan
- » Side and rear yard fences are encouraged for privacy
- » Maximum height of side yard and rear yard fencing: 6 feet
- » Top 2 feet of 6-foot fence facing streets and/or lanes requires change in articulation and 40% opacity

FENCE SETBACKS

- » Rear: 1 inch from property line unless built by builder
- » Street Side: 4 feet from walk

LANDSCAPE

- » Landscaping is required in all areas not enclosed with a fence
- » Foundation planting is required against buildings or fences facing streets
- » Plants other than grass are encouraged along public rights-of-way in the Planting Zone



General Requirements

PLAN MINIMUM

- » Plans should contain significant variation in floor plan, massing, and garage type
- » Each block face of three or more units must contain at least 3 different plan types
- » Number of floor plans developed based upon number of lots developed:
 - › 100 or fewer lots = 2 plans
 - › 101 or more lots = 3 plans

ELEVATION PER PLAN MINIMUM

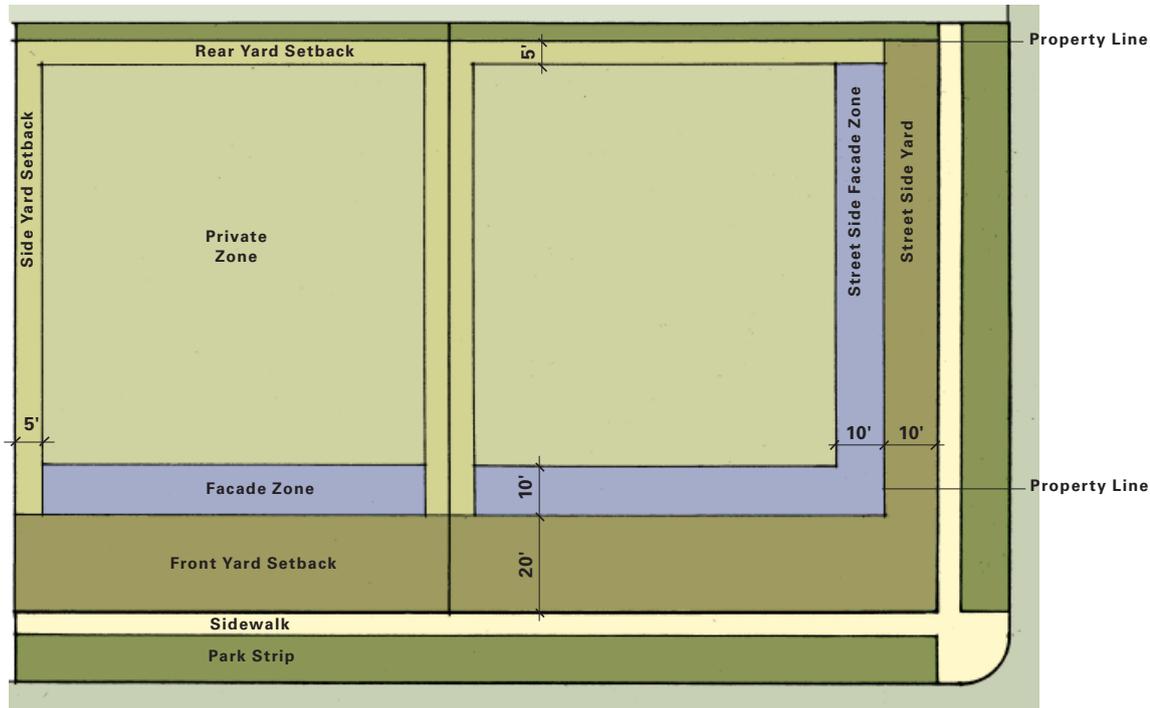
- » Elevation variation should be manifest in the massing, roof form, primary materials, window and porch design, and color
- » Elevations may not be repeated on a block face or opposing block face without material, color or trim variation
- » Number of elevations developed based upon number of lots developed:
 - › 100 or fewer lots = 2 elevations
 - › 101 or more lots = 3 elevations

- » Each elevation is encouraged to have at least one alternative option for each of the following:
 - › exterior siding material
 - › exterior trim
 - › porch
 - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three buildings of the same style may be located next to each other
- » Identical buildings (defined as having the same front facade) may not be located on adjacent lots

MANSION APARTMENTS



Lot Zones and Setbacks

LOT SIZE (APPROXIMATE)

- » Mansion Apartment lots will vary by pad site size

MINIMUM HOUSE SETBACKS

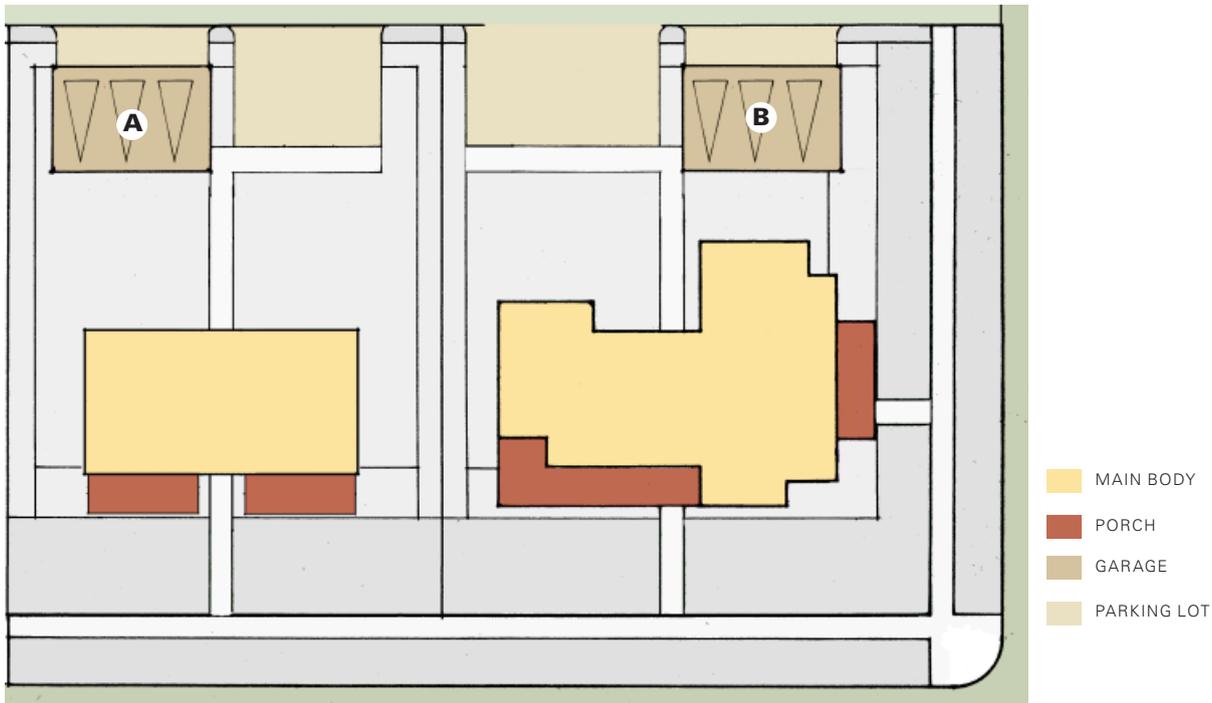
- » Front Yard: 20 feet to building
- » Street Side: 10 feet to the building and any garages/carports
- » Side Yard: 5 feet
- » Rear Yard: 5 feet to the building and garage/carport; (10 feet maximum to the garage/carport encouraged on a corner lot)

FACADE ZONE

- » All Zones: 10 feet
- » 70% of lot frontage must have building within the Facade Zone on rectangular lots

ENCROACHMENTS INTO SETBACKS

- » Porches: 5 feet into front yard and street side setbacks only
- » Balconies: 5 feet into front yard and street side setbacks only
- » Bay Windows: 2 feet into front yard and street side setbacks only
- » Fireplaces: 2 feet into street side setback only



Elements of the Building

PERMITTED GARAGE TYPES

- » Tuck Under
- » Attached
- » Semi-Attached
- » Detached (A) (lane must be on street side on corner lots (B))

GARAGE REQUIREMENTS

- » Minimum 1 off-street parking space per unit (does not have to be in a garage)
- » Garages and carports must be a minimum of 22 feet wide or deep
- » Garage doors may not face adjacent streets

SECONDARY RESIDENTIAL UNITS

- » A secondary residential unit is not permitted over the garage
- » A minimum of one additional off-street parking space is to be provided for the secondary residential unit (not required to be covered)

FRONT WALKS

- » Site stairs must be within 1 foot of finished grade if constructing cheek walls

MANSION APARTMENTS



Yard Requirements

FENCE REQUIREMENTS

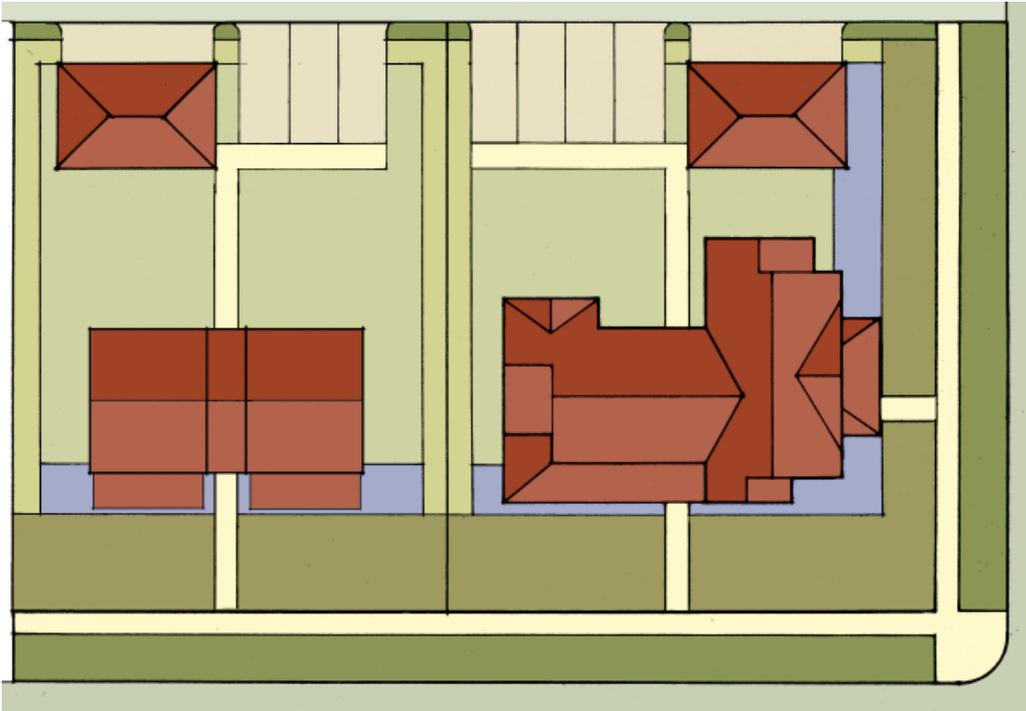
- » Front yard fencing is not permitted, except in accordance with the Modified Specific Plan
- » Side and rear yard fences are encouraged for privacy
- » Maximum height of rear yard fences: 6 feet
- » Top 2 feet of 6-foot fence facing lanes requires change in articulation and 40% opacity

FENCE SETBACKS

- » Side Yard: 5 feet back from front facade of house; 1 inch from property line unless built by builder
- » Street Side: 5 feet, permitted on rear half of lot only

LANDSCAPE

- » Landscaping is required in all areas that are not enclosed with a fence
- » Foundation planting is required facing streets
- » Landscaping is required at the base of fencing facing streets and/or lanes and parking lots
- » Plants other than grass are encouraged in the Planting Zone



General Requirements

PLAN MINIMUM

- » Three unit plans minimum (with significant variation in floor plan and massing)
- » Each building must contain a mix of plans

ELEVATION PER PLAN MINIMUM

- » Minimum of three elevation types per unit plan (manifest in the massing, roof form, primary materials, window and porch design and color)
- » Elevations may not be repeated on a block face or opposing block face
- » A minimum of two architectural styles must be represented

- » Each elevation is encouraged to have at least one alternative option for each of the following:
 - › exterior siding material
 - › exterior trim
 - › porch
 - › porch hand rail

GENERAL REQUIREMENTS

- » Maximum of three buildings of the same style may be located next to each other
- » Identical buildings (defined as having the same front facade) may not be located on adjacent lots

SUMMARY OF LOT SPECIFICATIONS

Lot Type	Uses	Lot Width		Minimum Setbacks to Habitable Space	
		Width	Min. Depth	Front	Street Side
Townhouse Lots	Single-Family Residential Attached	16' to 30'	Varies	10'	10'
Live/Work Lots	Attached Single-Family Residential w/Ground Floor, Non-Residential Uses	16' to 30'	Varies	0'	5'
Mansion Apartments	Multi-Family Residential	Pad Site	Varies	20'	10'

		Off-Street Parking	Encroachments
Side Yd.	Rear Yd.		
n/a	5'	2 spaces	Porches and/or Balconies: 5' into the Front Yard and Street Side Setback Zones only Bay Windows: 2' into the Front Yard and Street Side Setback Zones only Fireplace and/or Media Nook: 2' into the Street Side and Side Yard Setback Zone only Second Floor Habitable Space: Cantilevers, Carport Roofs, and Trellis Canopies: 2' into Rear Setback Zone only
n/a	5'	2 spaces	Porches and/or Balconies: 5' into the Front Yard and Street Side Setback Zones only Bay Windows: 2' into the Front Yard and Street Side Setback Zones only Fireplace and/or Media Nook: 2' into the Street Side and Side Yard Setback Zone only Second Floor Habitable Space: Cantilevers, Carport Roofs, and Trellis Canopies: 2' into Rear Setback Zone only
5'	5'	2 spaces	Porches and/or Balconies: 5' into the Front Yard and Street Side Setback Zones only Bay Windows: 2' into the Front Yard and Street Side Setback Zones only Fireplace and/or Media Nook: 2' into the Street Side and Side Yard Setback Zone only

ARCHITECTURAL PATTERNS

The Architectural Patterns Section for Attached Residential units illustrates key elements and design strategies for the five permitted traditional architectural styles for attached residential units. This section provides detailed guidelines for designing within the prescribed styles while creating well-defined variations among houses and buildings. The approach used is not intended to be a comprehensive catalog of all possibilities, but rather to serve as a guide to the key components within a particular style.

Each style section begins with an overview and general description of the style followed by several pages that document key massing types, standard door and window compositions, and materials and facade possibilities based upon Ellis Pattern Book components. Variations or other alternative combinations of components are permitted so long as they generally conform to the particular style. The goal is to design within specific families of styles that are appropriate to the Ellis context, not to design historic reproductions. The style pages and the illustrated details are meant to be a menu of options for designing houses in response to market demands and cost constraints while providing a consistent quality of character and detail.

SECTION 3 | ATTACHED RESIDENTIAL Architectural Patterns

ELLIS CRAFTSMAN

The Ellis Craftsman houses are defined from the unique qualities of the Craftsman tradition found throughout northern California and the Pacific Coast. Many regional builders constructed houses influenced by the Arts & Crafts movement. California residences are characterized by exposed structural elements, such as rafters, columns, beams, lintels, and porch columns. House exteriors were clad in rough-sawn shingles, stone, and brick. Interiors were made of solid wood and featured built-in furniture and accessories such as tables and benches.

The Craftsman style was popular in the early 20th century, influenced by both the Arts & Crafts movement and Japanese architecture. The attached houses in Ellis, the emphasis in this style is on simple, structural expression of craft and form, drawing on a vocabulary of architectural elements including the Prairie, Japanese, and Arts & Crafts styles, as well as influences from the Arts & Crafts movement. Forms are simple and feature horizontal timber elements. Windows in this style tend to be vertical in proportion and are typically grouped in pairs. Exposed rafters feature in roof and porch eaves, as do the range and dash.

Horizontal siding, square and tapered shingle siding patterns, and a mix of stone and siding materials are key finishing elements. This style also may include occasional metal roofing and shingle roofs.

COMMON ELEMENTS OF THIS ELLIS SUBTYPE:

- 1. Flat roof with deep overhang
- 2. Deep, broad porch columns with square structural components
- 3. Exposed structural elements in the attic such as rafters and beams
- 4. A combination of finished such as masonry, shingle, and siding
- 5. Approximate level and door composition

GALLERY OF EXAMPLES

Ellis Craftsman 2 | 22

SECTION 3 | ATTACHED RESIDENTIAL Architectural Patterns

ELLIS REVIVAL

The Ellis Revival is based upon Colonial Revival styles that were popular throughout the country in the early 1900s. The Colonial Revival style is rooted in early California towns and cities. Inspiring examples of this style can be found in the Central Valley and including regional precedents in places like Stockton, Colusa, Auburn, and Lodi.

The Colonial Revival style is based on Colonial design principles, adapted during the colonial period in the country. The interpretation, however, often reflects regional adaptation. The California examples include many features with different finishes as well as Dutch Colonial influences.

The attached houses are composed of simple forms with well-proportioned windows and door openings. These are often more horizontal in appearance with special windows appearing in the center of the house over the front door. Features such as Colonial Revival houses typically emphasize the horizontal proportions with square, arched columns, wide corner brackets, pilaster expressions, and fine and window trim.

COMMON ELEMENTS OF THIS ELLIS SUBTYPE:

- 1. Simple, straightforward volumes with projecting wings and porches added to make more complex shapes
- 2. An orderly, symmetrical relationship between windows, doors, and building mass
- 3. Simplified version of Classical details and columns, occasionally with Classical orders used at the entry
- 4. Multiple windows with decorative patterns
- 5. Strong horizontal lines emphasized by broad eaves and wide trim

GALLERY OF EXAMPLES

Ellis Revival 2 | 23

SECTION 3 | ATTACHED RESIDENTIAL Architectural Patterns

ELLIS EUROPEAN COUNTRY

The Ellis European Country style is based on the early twentieth century interpretation of English architecture by American architects and builders. The source for design comes from Medieval English castles, manor houses, and rural village manor houses. The historical interpretation of these forms with simple and often with four-facing gables that have simple pitched roofs between 12 to 18 degrees in 12/12 pitches, and that feature a prominent chimney on the roof. In California, the primary material of the exterior cladding is stone. There is often a mix of exterior materials including stone, masonry or brick. Hand-painted architectural details are often used as well.

Chimneys typically act as principal forms for the marking of the house. There are usually very massive, often with stone finish, simple drafting and chimney pots. Windows are typically casements, vertical in proportion and arranged in groups of three or five. There are substantial porches with low windows in the front, the dominant form is one of a solid mass with small openings.

COMMON ELEMENTS OF THIS ELLIS SUBTYPE:

- 1. Slightly pitched windows and door headers
- 2. Round windows or half-timbered door and window proportions
- 3. Roof lines generally have wide overhangs and are often steeply pitched
- 4. Simple drafting and window openings

GALLERY OF EXAMPLES

Ellis European Country 2 | 24

SECTION 3 | ATTACHED RESIDENTIAL Architectural Patterns

ELLIS MEDITERRANEAN REVIVAL

The Mediterranean Revival style draws on the distinctive architectural character of the Italian Renaissance as influenced by the popular California Spanish Colonial style. The style dates back to the early twentieth century. The first architectural model around 1910 evoked a proper renaissance of Spanish architectural forms throughout the region. The Mediterranean style emerged from Spanish style precedents that date between 1815 and 1860. This style combined traditional architectural conventions, but in regions with Spanish Colonial influences. The result is a distinctive architectural vocabulary, characterized by simple forms with modest decorative details. The houses used Colonial window and door details borrowed from New England country techniques and added a rustic timber porch with square columns and posts. The roof had a very shallow gable, often gabled or hipped, and was covered with clay tiles or red wooden shingles.

The entrance balcony on the front of the house was a gable on the porch that also resembled a defined a space contained in the back of the house. The detailing on the porch and the screen is extremely simple.

COMMON ELEMENTS OF THIS ELLIS SUBTYPE:

- 1. Simple, straightforward volumes, sometimes with a gable wing defining the mass
- 2. Shallow gable roofs, often hip or gable with shingle and tile
- 3. Typically two-story
- 4. Simplified version of double hung Colonial windows and doors
- 5. Multiple window openings that are wide in proportion
- 6. Multiple window openings that are wide in proportion
- 7. Being being projecting timber balconies or roof porches with support columns

GALLERY OF EXAMPLES

Ellis Mediterranean Revival 2 | 25

SECTION 3 | ATTACHED RESIDENTIAL Architectural Patterns

ELLIS SPANISH COLONIAL

California houses of the 1920s and 1930s were designed in a wide variety of styles, as the Spanish Revival style was by far the most popular due to its early association with the region, its adaptability to the local landscape and climate, and its shared historical roots. A single inspiration for several Spanish architectural came from Bertram Goodhue's design for the 1915 Pan Pacific Exposition in San Diego.

The Spanish Colonial style is a variety of styles, unified by the use of arches, masonry, stucco, and stone, plain wood carvings, and the motifs of an earlier time. Mediterranean architectural styles. Spanish Colonial style is most often characterized by an informal plan arrangement and coloring.

Spanish style houses typically have the long spreading range of walls with a minimum of perimeter ornamentation so as to have the appearance of thick masonry. They also have thick, low-pitched roofs that accentuate the horizontal character, covered patios, loggias, or colonnades, and substantial doors. In a Spanish style house, most of the walls come from a common use of proportion and space, well-placed use of ornament.

The basic traditional design lies in the center of mass weight and central elevation light and dark in the use of materials, in stone and stucco, and in its mass simplicity.

COMMON ELEMENTS OF THIS ELLIS SUBTYPE:

- 1. Masses with a horizontal facial appearance
- 2. Shallow depth, the roof is rectangular
- 3. Simple window and door composition
- 4. Casement windows
- 5. Covered patios and loggias
- 6. Balconies with decorative brackets

GALLERY OF EXAMPLES

Ellis Spanish Colonial 2 | 26

ELLIS CRAFTSMAN

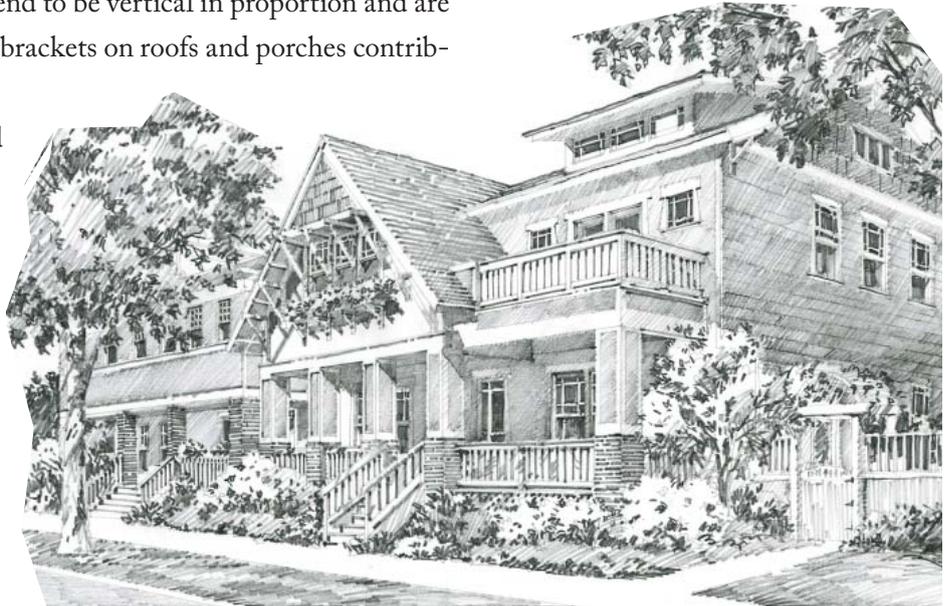
Ellis Craftsman houses are derived from the unique qualities of the Craftsman tradition found throughout northern California and San Joaquin County. Many regional builders constructed houses influenced by the Arts & Crafts movement. California versions are characterized by exposed or expressive structural elements such as rafters, columns, beams, lintels, and porch elements. House exteriors were clapboard or shingle siding mixed with stone and brick or stucco accents and were painted in natural color palettes. The California Craftsman house, which emerged in the beginning of the twentieth century, was influenced by both the Arts & Crafts movement and Japanese architecture.

For attached homes in Ellis, the emphasis in this style is on simple, structural expression of porch and eave elements using a vocabulary of architectural elements including the Prairie, Japanese, and Swiss styles, as well as influences from the Arts & Crafts movement. Forms are simple and reflect dimensioned lumber elements. Windows in this style tend to be vertical in proportion and are typically ganged or paired. Exposed eave brackets on roofs and porches contribute to this image and detail.

Horizontal siding, square and shaped shingle siding patterns, and a mix of stucco and siding materials are key cladding elements. This style also may include unpainted metal roofing and shingled roofs.

COMMON ELEMENTS OF THE ELLIS CRAFTSMAN

- » Pitched roofs with deep overhangs.
- » Deep, broad porch elements with expressive structural components.
- » Exposed structural elements in the eaves such as rafters and brackets.
- » A combination of materials such as stucco, shingles, and siding.
- » Asymmetrical window and door compositions.



Arts & Crafts Style in Ellis

GALLERY OF EXAMPLES



MASSING AND COMPOSITION

Attached units will occur in two forms: townhouses and Mansion Apartment buildings. Massing options A, B, and C may apply to townhouse rows and may be combined along a block face. Massing type D is applied to apartment buildings.

A TWO-STORY SIDE GABLE

Rectangular two-story volumes, with a 4 to 7 in 12 roof pitch. Shed front porches are common and have a shallower roof pitch. Porches may be either additive or a single integral bay.

B TWO-AND-ONE-HALF-STORY SIDE GABLE

Rectangular two- to two-and-one-half-story volume with a 4 to 7 in 12 side gabled roof. Integral front porch that ranges from half to the full length of the front facade. Symmetrically placed gabled or shed dormers with 3 to 5 in 12 roof pitch.

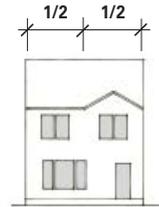
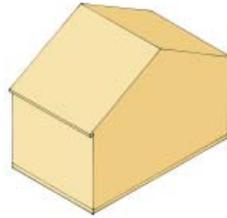
C TWO-STORY GABLE L

Cross-gabled volume with a 4 in 12 gable facing the street. Often an in-line gabled porch or wing is added to the front left of the L. Porches may also be located between the legs of the L.

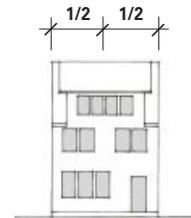
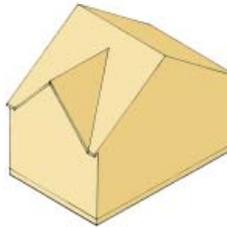
D MANSION APARTMENTS

Rectangular volume with a 4 to 12 in 12 roof pitch and gable/gables facing the street. Front porches are common.

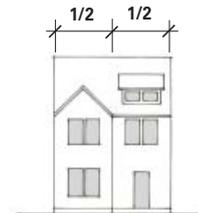
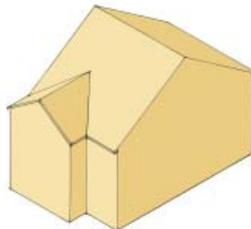
A TWO-STORY SIDE GABLE



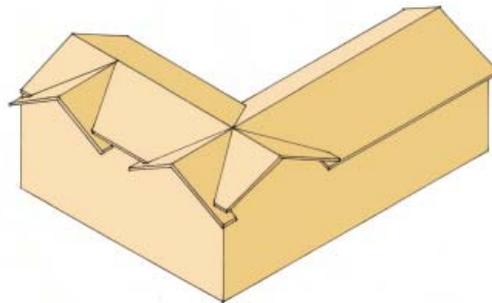
B TWO-AND-ONE-HALF-STORY SIDE GABLE

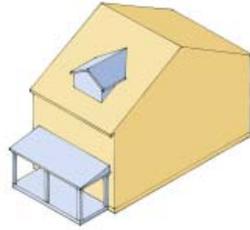
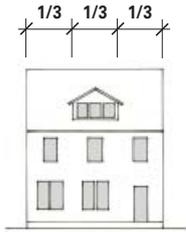


C TWO-STORY GABLE L

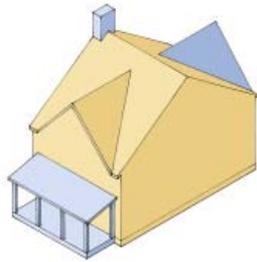
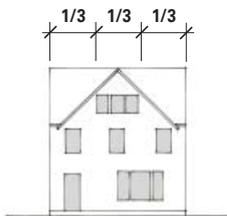


D MANSION APARTMENTS

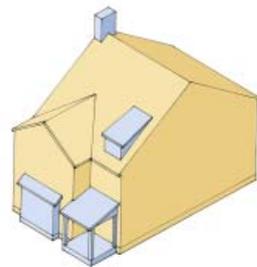
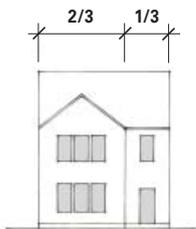




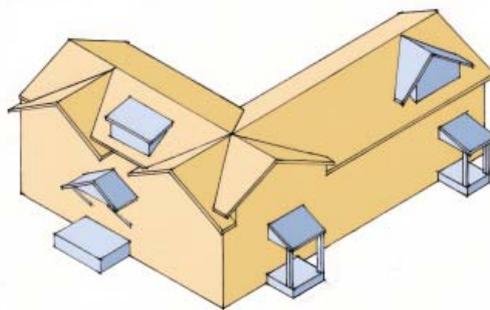
A Side gable with a front porch and street-facing dormer



B Side gable with a front porch, a chimney and a large, rear-facing dormer



C Gable L with front entry porch, boxbay window, chimney and shed-roofed dormer



D Large side-gable building massing, with street-facing gables

POSSIBILITIES

TOWNHOUSES



TOWNHOUSES



MANSION APARTMENTS



PRECEDENTS



MATERIALS

SIDING/CLADDING

- » Fiber-cement clapboard and/or stucco
- » Lace finish not permitted

ROOFING

- » Composition shingles, flat concrete tile, standing seam, or 5v crimp metal

WINDOWS

- » Single- or double-hung
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum, or vinyl
- » Traditional-looking profiles

TRIM

- » Stucco, wood, composition board, cellular PVC, polyurethane, or fiber cement

COLUMNS/BRACKETS

- » Wood or composite

RAILINGS

- » Wood or composite top and bottom rails with square balusters
- » Solid railings of wood, fiber cement, cut shingle siding or manufactured stone veneer

SOFFITS AND PORCH CEILING

- » Exposed rafters at soffits with starter board or v-groove sheathing
- » T&G wood, beaded plywood, exterior-grade plywood, or stucco porch ceiling

GUTTERS

- » Ogee or half-round primed or prefinished metal
- » PVC is acceptable in a color that matches the trim
- » Fascia gutter permitted

DOWNSPOUTS

- » Rectangular or round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches the trim or the stucco cladding

SHUTTERS

- » Not applicable

CHIMNEYS

- » Stucco, brick, or manufactured stone veneer
- » Siding to match structure

FRONT YARD FENCES

- » Wood, stone, or masonry with stucco finish
- » Vinyl picket permitted
- » Wrought iron or equivalent

REAR YARD FENCES

- » Cedar, redwood, or masonry with stucco finish (if applicable)
- » Vinyl and pressure treated wood are permitted

COLORS

SIDING AND TRIM

- » Colors to be selected from the Ellis Color Palette

WINDOWS

- » Colors to be selected from the Ellis Color Palette

ROOF SHINGLES

- » Colors to be selected from the Ellis Color Palette

GUTTERS AND DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

FRONT YARD FENCES

- » Colors to be selected from the Ellis Color Palette

ELLIS REVIVAL

The Ellis Revival is based upon Colonial Revival styles that were prevalent throughout the country in the early 1900s. The Colonial Revival style is evident in many California towns and cities. Interesting examples of this style can be found in the Central Valley area including regional precedents in places like Stockton, Concord, Antioch, and Livermore.

The Colonial Revival style is based on Classical design principles followed during the colonial period in this country. The interpretations, however, often reflect regional adaptations. The California examples include many houses with full front porches as well as Dutch Colonial renditions.

The attached homes are composed of simple forms with well-proportioned windows and door surrounds. These are often more horizontal in appearance with special windows appearing in the center of the house over the front door. Stockton area Colonial Revival houses typically emphasize the horizontal proportions with square, robust columns, wide corner boards, pilaster expressions, and door and window trim.

COMMON ELEMENTS OF ELLIS REVIVAL

- » Simple, straightforward volumes with projecting wings and porches added to make more complex shapes.
- » An orderly, symmetrical relationship between windows, doors, and building mass.
- » Simplified versions of Classical details and columns, occasionally with Classical orders used at the entry.
- » Multi-pane windows with six-pane patterns.
- » Strong horizontal lines emphasized by broad eaves and wide trim.



GALLERY OF EXAMPLES



MASSING AND COMPOSITION

Attached units will occur in two forms: townhouses and Mansion Apartment buildings. Massing options A, B, and C may apply to townhouse rows and may be combined along a block face. Massing type D is applied to apartment buildings.

A TWO-STORY SIDE GABLE

Side-gabled rectangular volume with a roof pitch that is typically 4 to 10 in 12. Dormer windows are often present in the roof form. Porches are additive structures that may cover all or part of the front facade.

B TWO-AND-A-HALF-STORY MANSARD

Rectangular volume, composed of a flat roof with a mansard pitch condition on the front facade. Often accompanied by a shed-roof dormer within the mansard roof condition. Porches may cover all or part of the front facade.

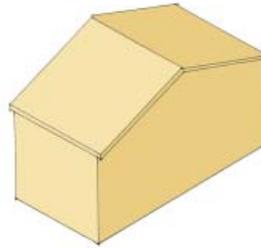
C TWO-STORY FRONT GABLE

Front-gabled rectangular volume. Gable roof pitches range from 4 to 10 in 12. As with other massing, stoops and hipped front porches are common. Porches are most often one-story, but can be two-story on townhouse units.

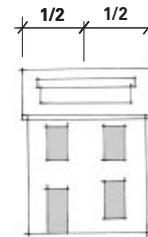
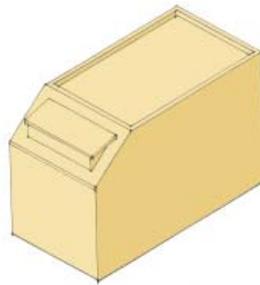
D MANSION APARTMENT

Cross-gabled volume with roof pitches ranging from 4 to 10 in 12 for front-facing gables, and a less steep pitch for side gables. One-story temple front porches are common, along with dormer windows.

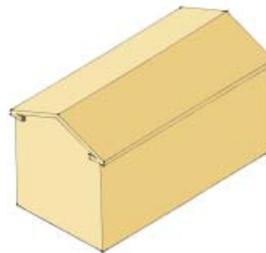
A TWO-STORY SIDE GABLE



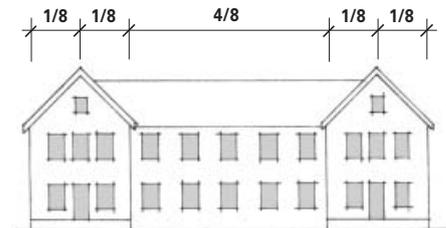
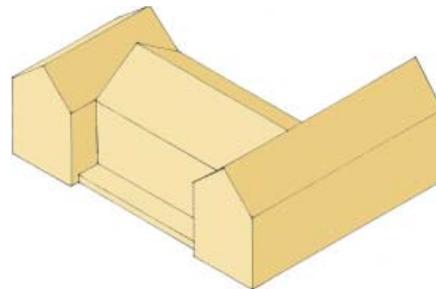
B TWO-AND-A-HALF-STORY MANSARD

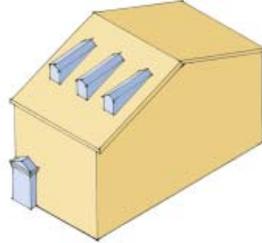
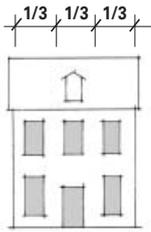


C TWO-STORY FRONT GABLE

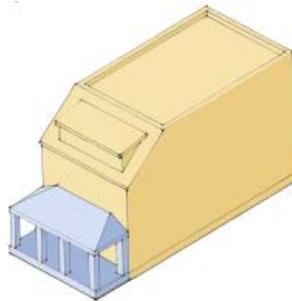
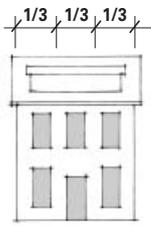


D MANSION APARTMENTS

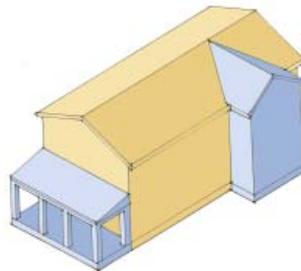
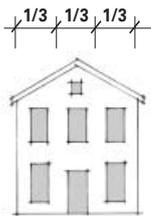




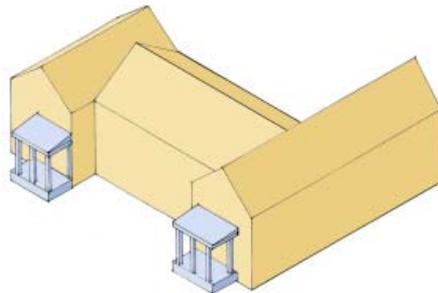
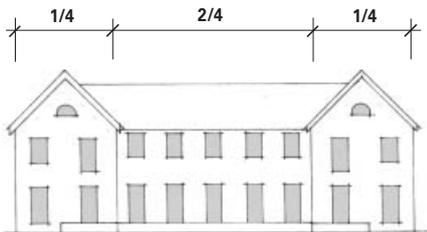
A Side gable with dormers and built-out entry bay



B Side gable with hipped full front porch



C Front gable with full front porch and side wing



D Large cross gables with symmetrical porch entry bays

POSSIBILITIES

PRECEDENTS

TOWNHOUSES



Elevation possibility



TOWNHOUSES



Elevation possibility



MANSION APARTMENTS



Elevation possibility



MATERIALS

SIDING/CLADDING

- » Fiber-cement clapboard or stucco
- » Lace finish not permitted

ROOFING

- » Composition shingles or concrete tile with flat profile

WINDOWS

- » Single- or double-hung and casement
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum or vinyl
- » Traditional wood profiles

TRIM

- » Stucco, wood, composition board, cellular PVC, polyurethane, or fiber cement

COLUMNS

- » Wood, or composite with Classical entasis and proportions
- » Use Tuscan, Doric, or Ionic orders

RAILINGS

- » Wood or composite top and bottom rails with square balusters

SOFFITS AND PORCH CEILING

- » Fiber-cement board, stucco, T&G wood, beaded plywood, exterior-grade plywood, or stucco

GUTTERS

- » Ogee or half-round
- » Primed or prefinished metal

- » PVC is acceptable in a color that matches trim

- » Fascia gutter permitted

DOWNSPOUTS

- » Rectangular or round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches trim or stucco cladding

SHUTTERS

- » Raised or flat paneled
- » Louvered or plank
- » Wood or composite materials, or colored vinyl
- » Hinges, shutter dogs, and latches are encouraged

CHIMNEYS

- » Stucco, brick, or manufactured stone veneer
- » Siding to match house

FRONT YARD FENCES

- » Painted wood, prefinished metal, stone, masonry, or stucco finish (if applicable)
- » Vinyl picket also permitted

REAR YARD FENCES

- » Cedar or redwood, or masonry with stucco finish
- » Vinyl and pressure-treated wood are permitted

COLORS

SIDING, WINDOWS, AND TRIM

- » Colors to be selected from the Ellis Color Palette

ROOF

- » Colors to be selected from the Ellis Color Palette

GUTTERS AND DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

WINDOWS

- » Colors to be selected from the Ellis Color Palette

SHUTTERS

- » Colors to be selected from the Ellis Color Palette

FENCING

- » Colors to be selected from the Ellis Color Palette

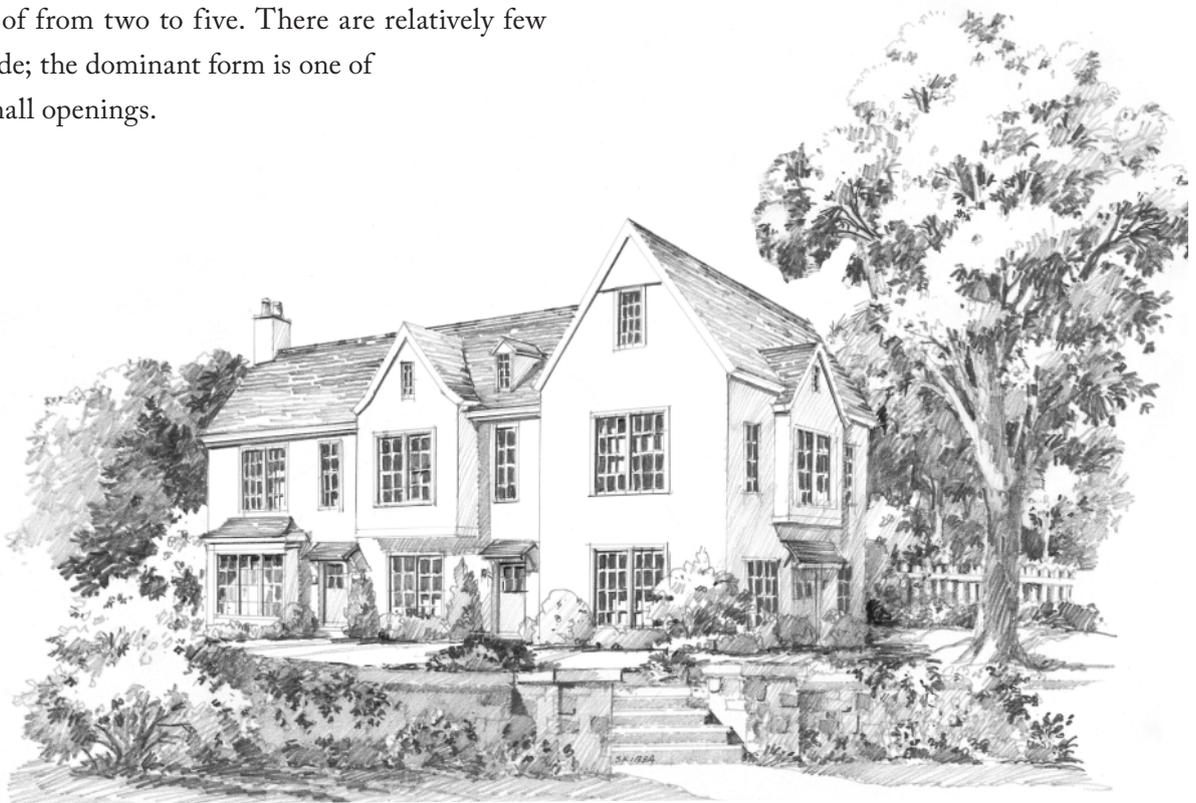
ELLIS EUROPEAN COUNTRY

The Ellis European Country Style is based on the early twentieth century interpretations of English architecture by American architects and builders. The source for design comes from Medieval English cottages, manor houses, and rural village vernacular houses. The American interpretations include houses with simple volumes often with front-facing gables that have steeply pitched roofs between 12 in 12 and 16 in 12. Gable, hip, and shed dormers are a dominant feature of the style. In California, the principal material for the exterior cladding is stucco. There is often a mix of exterior materials including stone, stucco or brick. Half-timbering and horizontal siding are often used as infill in gables.

Chimneys typically act as principal forms for the massing of the house. These are usually very massive, often with stucco finish, simple detailing and chimney pots. Windows are typically casements, vertical in proportion and arranged in groups of from two to five. There are relatively few windows in the facade; the dominant form is one of a solid mass with small openings.

COMMON ELEMENTS OF ELLIS EUROPEAN COUNTRY

- » Seemingly random window and door locations.
- » Vertical windows in groupings.
- » Broad expanses of wall with few door and window penetrations.
- » Roof lines extending below windows at second floor, and to top of window at first floor.
- » Simple detailing and shallow overhangs.



GALLERY OF EXAMPLES



MASSING AND COMPOSITION

Attached units will occur in two forms: townhouses and Mansion Apartment buildings. Massing options A, B, and C may apply to townhouse rows and may be combined along a block face. Massing type D is applied to apartment buildings.

A TWO-STORY BASIC SIDE GABLE

Rectangular two- to two-and-one-half-story volume with an 4 to 10 in 12 roof pitch. Cross-gabled entry piece in 12 to 16 in 12. Only one cross gable permitted, often expressed in plan.

B TWO-STORY ASYMMETRICAL GABLE-FRONT L

Rectangular two- to two-and-one-half-story volume with a main body roof of 6 to 16 in 12. Cross-gabled volume with an 8 to 12 in 12 roof. Cross gable is asymmetrical and may contain an inset entry porch. At times, the roof may transition to a shallower pitch over the entry porch.

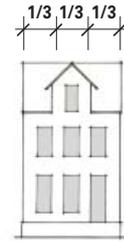
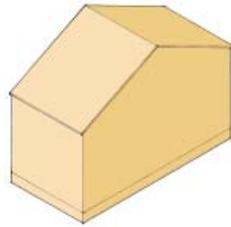
C SIDE GABLE WITH DOMINANT CROSS-GABLE

Rectangular two-story volume with an 4 to 10 in 12 roof pitch. One dominant cross gable organizes composition with a 6 to 16 in 12 pitch. Secondary and tertiary gables in the primary roof mass or as dormers are common. Element roof may be gable or side gable. Front entry is often inset into building mass.

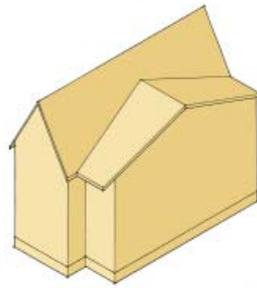
D MANSION APARTMENTS

Long rectangular two- to three-story volume with 4 to 12 in 12 roof pitch.

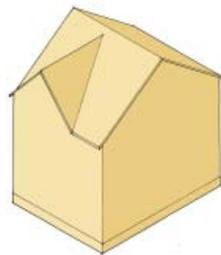
A TWO-STORY BASIC SIDE GABLE



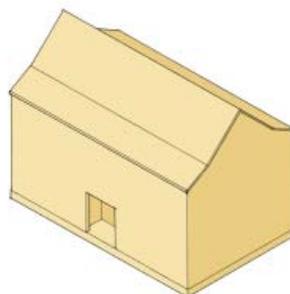
B TWO-STORY ASYMMETRICAL GABLE-FRONT L

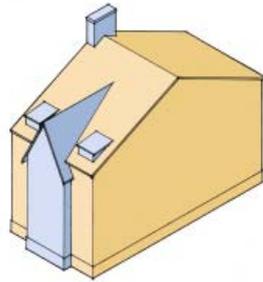


C SIDE GABLE WITH DOMINANT CROSS-GABLE

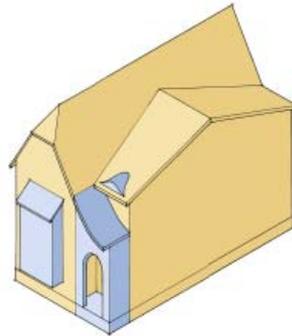


D MANSION APARTMENTS

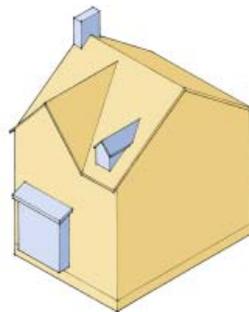




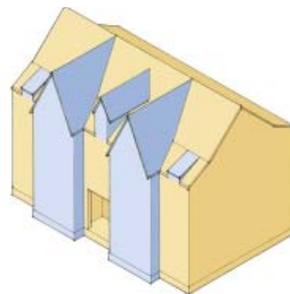
A Basic side gable with a front gable, shed-roofed dormers and a chimney



B Gable-front L with a front entry porch, an eyebrow dormer and a bay window



C Side gable with a bay window, a gable dormer, and a chimney



D Large side gable with front gables, shed dormers, and a gable dormer

POSSIBILITIES

TOWNHOUSES



TOWNHOUSES



MANSION APARTMENTS



MATERIALS

SIDING/CLADDING

- » Fiber-cement clapboard or stucco
- » Lace finish not permitted
- » Half-timbering for second-story accents

ROOFING

- » Composition shingles, concrete tile with flat profile, or manufactured slate

WINDOWS

- » Single- or double-hung and casement
- » Energy-efficient wood, PVC-clad, cellular PVC, aluminum-clad, aluminum or vinyl
- » Traditional wood profiles

TRIM

- » Stucco, wood, composition board, cellular PVC, cast stone, polyurethane, or fiber cement

COLUMNS

- » Wood, or composite

RAILINGS

- » Ornamental metal preferred
- » Wood or composite top and bottom rails with square balusters

SOFFITS AND PORCH CEILING

- » Fiber-cement board, stucco, T&G wood, beaded plywood, exterior-grade plywood, or stucco

GUTTERS

- » Ogee or half-round
- » Primed or prefinished metal
- » PVC is acceptable in a color that matches trim
- » Fascia gutter permitted

DOWNSPOUTS

- » Rectangular or round
- » Primed or prefinished metal
- » PVC is permitted in a color that matches trim or stucco cladding

SHUTTERS

- » Raised or flat paneled
- » Louvered or plank
- » Wood or composite materials, or colored vinyl
- » Hinges, shutter dogs, and latches are encouraged

CHIMNEYS

- » Stucco, brick, or manufactured stone veneer
- » Siding to match house

FRONT YARD FENCES

- » Painted wood, prefinished metal, stone, masonry, or stucco finish

REAR YARD FENCES

- » Cedar or redwood, or masonry with stucco finish
- » Vinyl and pressure-treated wood are permitted

COLORS

SIDING, WINDOWS, AND TRIM

- » Colors to be selected from the Ellis Color Palette

ROOF

- » Colors to be selected from the Ellis Color Palette

GUTTERS AND DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

WINDOWS

- » Colors to be selected from the Ellis Color Palette

SHUTTERS

- » Colors to be selected from the Ellis Color Palette

FENCING

- » Colors to be selected from the Ellis Color Palette

ELLIS MEDITERRANEAN REVIVAL

The Mediterranean Revival style draws on the distinctive architectural character of the Monterey Peninsula as influenced by the popular California Spanish Colonial style. The style dates back to the early nineteenth century. The first revival started around 1925 amidst a very popular renaissance of Spanish architectural forms throughout the region. The Mediterranean style emerged from Spanish adobe precedents that date between 1815 and 1860. This style combines traditional adobe construction, local to this region, with Spanish Colonial influences. The result is a distinctive architectural vocabulary, characterized by simple forms with wooden decorative details. These houses used Colonial window and door detailing borrowed from New England carpentry techniques and added a rustic timber porch with exposed rafters and joists. The roofs had a very shallow pitch, either gabled or hipped, and were covered with clay tiles or cut wooden shingles.

The signature balcony on the front of the house was a prelude to the porch that often surrounded or defined a private courtyard in the back of the house. The detailing on the porches and the cornice is extremely simple.

COMMON ELEMENTS OF ELLIS MEDITERRANEAN REVIVAL

- » Simple, straightforward volumes, sometimes with a gable wing facing the street.
- » Shallow sloped roofs, either hip or gable, with shingles and tile.
- » Typically two-story.
- » Simplified versions of double hung Colonial windows and doors.
- » Multi-pane window appearance that are wide in proportion, usually with 4 over 4 or 6 over 6 pane patterns.
- » Street facing projecting timber balconies or inset porches with exposed rafters.



GALLERY OF EXAMPLES



MASSING AND COMPOSITION

Attached units will occur in two forms: townhouses and Mansion Apartment buildings. Massing options A, B, and C may apply to townhouse rows and may be combined along a block face. Massing type D is applied to apartment buildings.

A TWO-STORY SIDE GABLE

Two-story rectangular form with a 3 to 4 in 12 gabled roof pitch, and side gable facing the street. A variety of porch and balcony options exist for this massing type.

B TWO-STORY GABLE L

Two-story main body, side gable facing the street with a 3 to 4 in 12 roof pitch. A two-story wing projects forward from the main body toward the street.

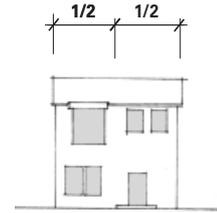
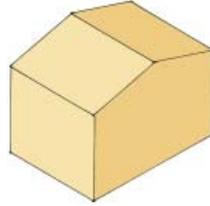
C TWO-STORY FRONT GABLE

Cross-gabled volume with a 3 to 4 in 12 gable facing the street. Cantilevered balconies and one-story front additions are encouraged.

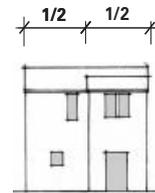
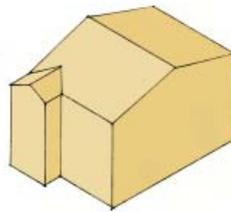
D MANSION APARTMENTS

Long rectangular two- to three-story volume with 3 to 4 in 12 roof pitch. Typically two front gables project toward the street to form a courtyard for apartments. Balconies, porches, and one- or two-story additions are encouraged for architectural variety.

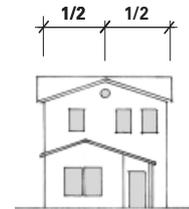
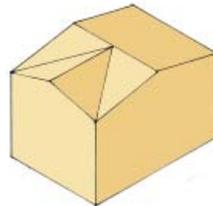
TWO-STORY SIDE GABLE



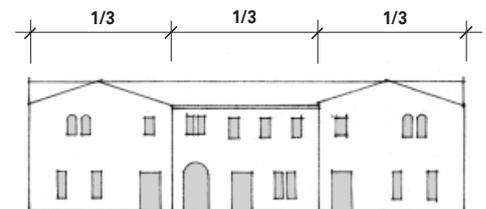
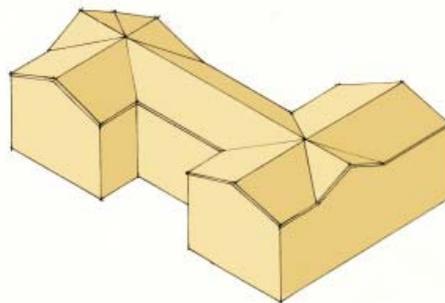
TWO-STORY GABLE L

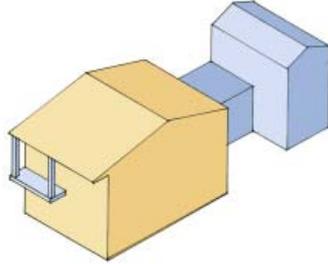
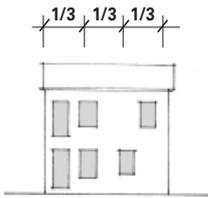


TWO-STORY FRONT GABLE

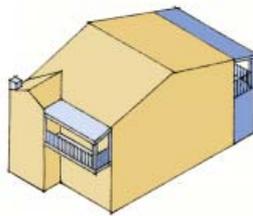
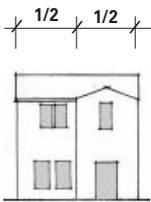


MANSION APARTMENTS

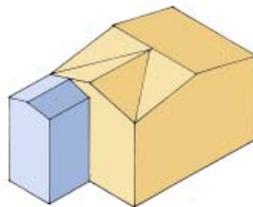
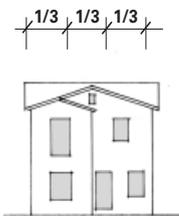




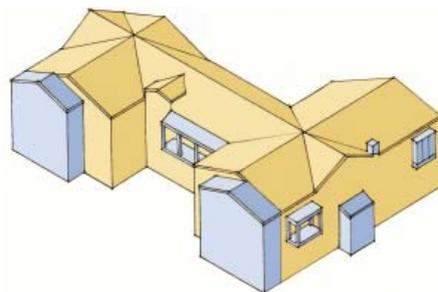
A Two-story side gable with balcony and rear wing



B Two-story gable L with front and rear balconies and chimney



C Two-story front gable with added front gable wing



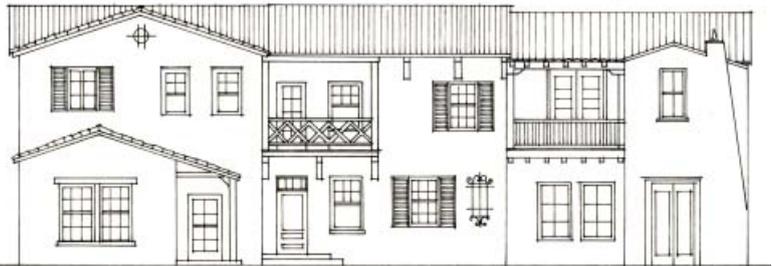
D 6-unit Mansion Apartment with front wings, balconies, chimney, and entry addition

POSSIBILITIES

TOWNHOUSES



TOWNHOUSES



MANSION APARTMENTS



PRECEDENTS



MATERIALS

SIDING/CLADDING

- » Stucco and optional second floor wood or fiber-cement clapboard
- » Lace finish not permitted

ROOFING

- » Concrete tile in flat or barrel profile, multiple stacked tile at eaves
- » Architectural asphalt shingle also permitted

WINDOWS

- » Single or double-hung, casement, and picture units, energy-efficient wood, PVC clad, aluminum-clad, cellular PVC, aluminum or vinyl with traditional wood profiles

COLUMNS

- » Stucco or composite

BALCONIES

- » Wood, corbelled stucco with metal railings, or fiber cement

RAILINGS

- » Wood or fiber cement top and bottom rails with square or turned balusters

EAVES

- » Starter board or v-groove sheathing

EXTERIOR CEILINGS

- » Plank and beam, or stucco

GUTTERS

- » Half-round metal or PVC
- » Fascia gutter also permitted

DOWNSPOUTS

- » Round metal or PVC

SHUTTERS

- » Raised or flat panel, louvered, or plank, in wood or composite material or a colored vinyl

CHIMNEYS

- » Stucco

FRONT YARD FENCES

- » Masonry with stucco finish; wrought iron accents permitted
- » Wrought iron or aluminum permitted

REAR YARD FENCES

- » Cedar or redwood, or masonry with stucco finish
- » Vinyl and pressure-treated wood are permitted

COLORS

STUCCO

- » Colors to be selected from the Ellis Color Palette

ROOF TILES

- » Colors to be selected from the Ellis Color Palette

WINDOWS

- » Colors to be selected from the Ellis Color Palette

TRIM/SHUTTERS

- » Colors to be selected from the Ellis Color Palette

GUTTERS

- » Colors to be selected from the Ellis Color Palette

DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

WALLS/FENCING

- » Colors to be selected from the Ellis Color Palette

ELLIS SPANISH COLONIAL

California houses of the 1920s and 1930s were designed in a wide variety of styles, yet the Spanish Revival style was by far the most popular due to its early association with the region, its adaptability to the local landscape and climate, and its charm and character. A major impetus for revival of Spanish architecture came from Bertram Goodhue's designs for the 1915 Pan Pacific Exposition in San Diego.

The Spanish Colonial style is a catalog of styles, unified by the use of arches, courtyards, strong form and mass, plain wall surfaces, and tile roofs; all are derived from Mediterranean architectural styles. Spanish Colonial style is most often characterized by an informal plan arrangement and massing.

Spanish-style houses typically have low, long spreading sweeps of wall with a minimum of penetration (constructed so as to have the appearance of thick masonry). They also have tiled, low pitched roofs (to accentuate the horizontal character); covered patios, loggias, or cloisters; and substantial doors. In a Spanish-style house, most of the effect comes from a correct use of proportion and a spare, well-placed use of ornament. The house's fundamental charm lies in the contrast of warm sunlight and cool shadows (light and shade), in the use of materials, in texture and color, and in its austere simplicity.

COMMON ELEMENTS OF ELLIS SPANISH COLONIAL

- » Stucco walls with a handmade/formed appearance.
- » Shallow sloped, tile roofs in variegated colors.
- » Irregular window and door composition.
- » Casement windows.
- » Covered porches and loggias.
- » Balconies with decorative ironwork.



GALLERY OF EXAMPLES



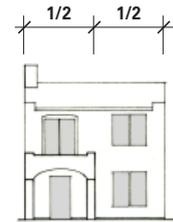
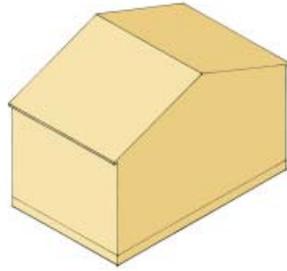
MASSING AND COMPOSITION

Attached units will occur in two forms: townhouses and Mansion Apartment buildings. Massing options A, B, and C may apply to townhouse rows and may be combined along a block face. Massing type D is applied to apartment buildings.

A TWO-STORY SIDE GABLE

Rectangular two-story volume with a 3 to 4 in 12 roof pitch and gable parallel to the street. Flat-roofed elements such as porches or galleries may be added to the front of the building.

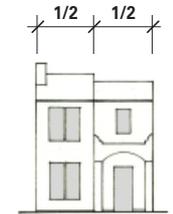
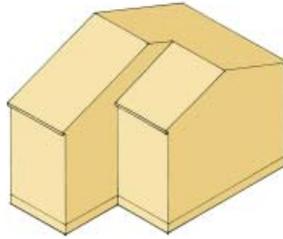
A TWO-STORY SIDE GABLE



B TWO-STORY BASIC DOUBLE SIDE GABLE

Two-story main body with a 3 to 4 in 12 roof pitch composed of two attached gable forms parallel to the street. Porches and entry features are common inside the L shape formed by the two gable forms.

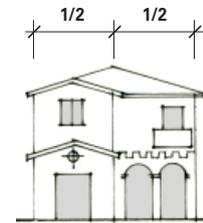
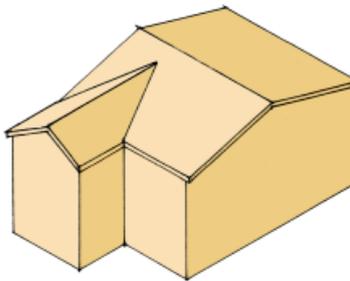
B TWO-STORY DOUBLE SIDE GABLE



C TWO-STORY GABLE L

Similar to the two-story side gable but with a front-facing gable attached forming an L shape. Attached wing is usually no more than half the width of the front facade.

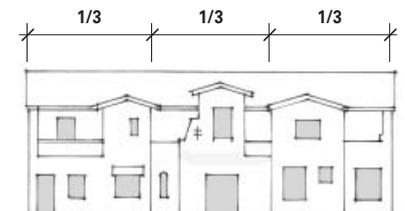
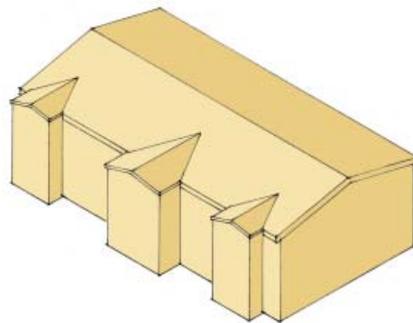
C TWO-STORY GABLE L

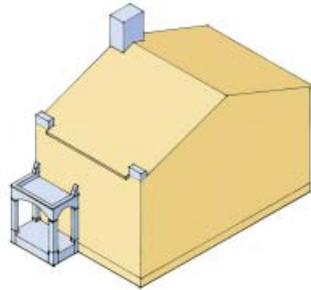
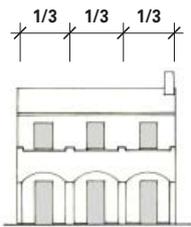


D MANSION APARTMENTS

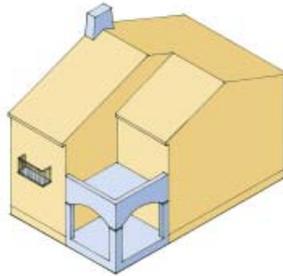
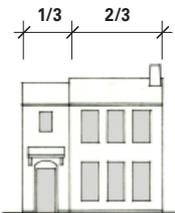
Two-story main body, gable or hip roof running parallel to the street. Typically there are projecting bays, some of which function as entries.

D MANSION APARTMENTS

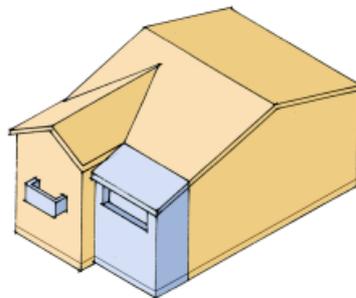
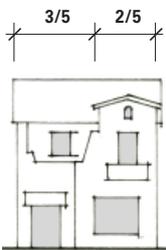




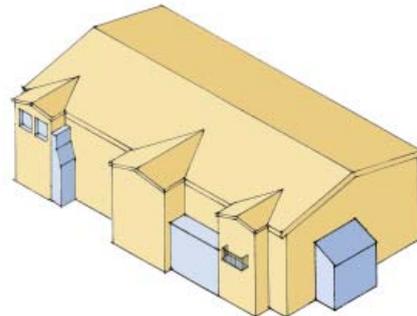
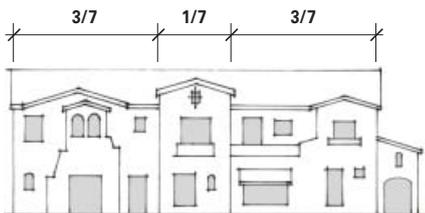
A Two-story side gable with front porch, parapet element, and chimney



B Two-story double side gable with two story front porch, balcony, and chimney



C Two-story gable L with attached front wing with inset porch, and balcony



D Two-story Mansion Apartment with side wing entry, attached one-story bay, balcony, chimney, and second-floor loggia.



POSSIBILITIES

TOWNHOUSES



PRECEDENTS



MATERIALS

SIDING/CLADDING

- » Stucco with handmade/formed appearance, skip-trowel not allowed

ROOFING

- » Terra cotta barrel tile
- » Multiple stacked tile at eaves

WINDOWS

- » Energy-efficient wood, PVC clad, aluminum-clad, or aluminum
- » True divided light appearance
- » Grilles shall be solid stock or wrought iron

COLUMNS AND ARCHES

- » Stucco or stucco (square, rectangular, or round), or round cast stone/concrete

EXTERIOR STAIRS

- » Terra cotta pavers for treads with stucco or decorative tile
- » Risers, sloped or stepped stucco walls as guard-railing. Solid-stock metal rails with a wrought iron appearance are also permitted.

BALCONIES

- » Solid-stock metal with a wrought iron appearance, wood, or cover or corbelled stucco with metal railings

EAVES

- » Wood s4s or v-groove sheathing, often of random width
- » Stucco molded eaves are permitted.

EXTERIOR CEILINGS

- » Plank and beam

GUTTERS

- » Half-round metal or PVC

DOWNSPOUTS

- » Round metal or PVC

SHUTTERS

- » Raised or flat paneled
- » Louvered or plank
- » Wrought iron hinges, shutter dogs encouraged

CHIMNEYS

- » Stucco with handmade/formed appearance

FRONT YARD FENCES

- » Prefinished metal, or masonry

REAR YARD FENCES

- » Painted wood, prefinished metal, or masonry

COLORS

STUCCO

- » Colors to be selected from the Ellis Color Palette

ROOF TILES

- » Colors to be selected from the Ellis Color Palette

WINDOWS

- » Colors to be selected from the Ellis Color Palette

TRIM/SHUTTERS

- » Colors to be selected from the Ellis Color Palette

GUTTERS

- » Colors to be selected from the Ellis Color Palette

DOWNSPOUTS

- » Colors to be selected from the Ellis Color Palette

FENCING

- » Colors to be selected from the Ellis Color Palette

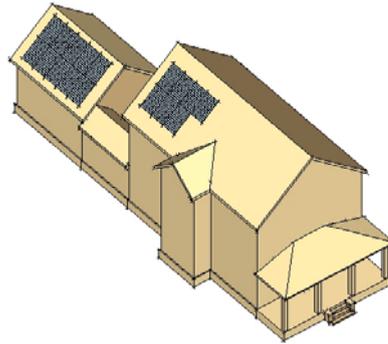
PHOTOVOLTAIC PANEL GUIDELINES

Photovoltaic panels may be used in the community. Multiple application techniques are possible:

A ROOF MOUNT

Photovoltaic panels are mounted a few inches above the roof structure, during the initial installation of the roof. Choices about where to site panels are based on building orientation, surface pitch, and public view.

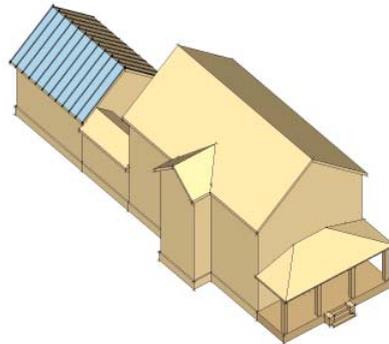
A ROOF MOUNT



B BUILDING INTEGRATED PV ARRAY (BIPV)

Applications of photovoltaics may be integral to the building system. Roof materials with PV cells can replace traditional roofing materials, as long as they are stylistically appropriate. BIPV's should be placed on garage and private-facing surfaces.

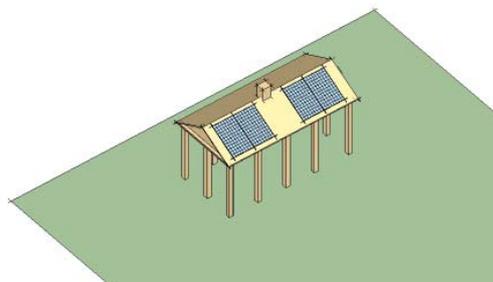
B BUILDING INTEGRATED PV ARRAY (BIPV)



C SHADE STRUCTURE

Photovoltaics may be applied to roof shade structures on private lots or in public parks and spaces. The application may be either mounted or integral, however, special attention must be paid to the handling of wires and ensuring that the panels are not visible from public view.

C SHADE STRUCTURE



The graph to the right shows the optimal building orientation and photovoltaic panel pitch to maximize electrical energy generation

	Flat	4:12	7:12	12:12	21:12	Vertical
South						
SSE, SSW						
SE, SW						
ESE, WSW						
East/West						



DESIGN CONSIDERATIONS

- » Place panels on southern-most facing roof surfaces. Pitch of roof determines optimal solar capture (see chart on page 3|52).
- » Photovoltaic panels may not be used on front or street facing elevations
- » Prioritize garages and roofs facing private yards



DESIGN CONSIDERATIONS

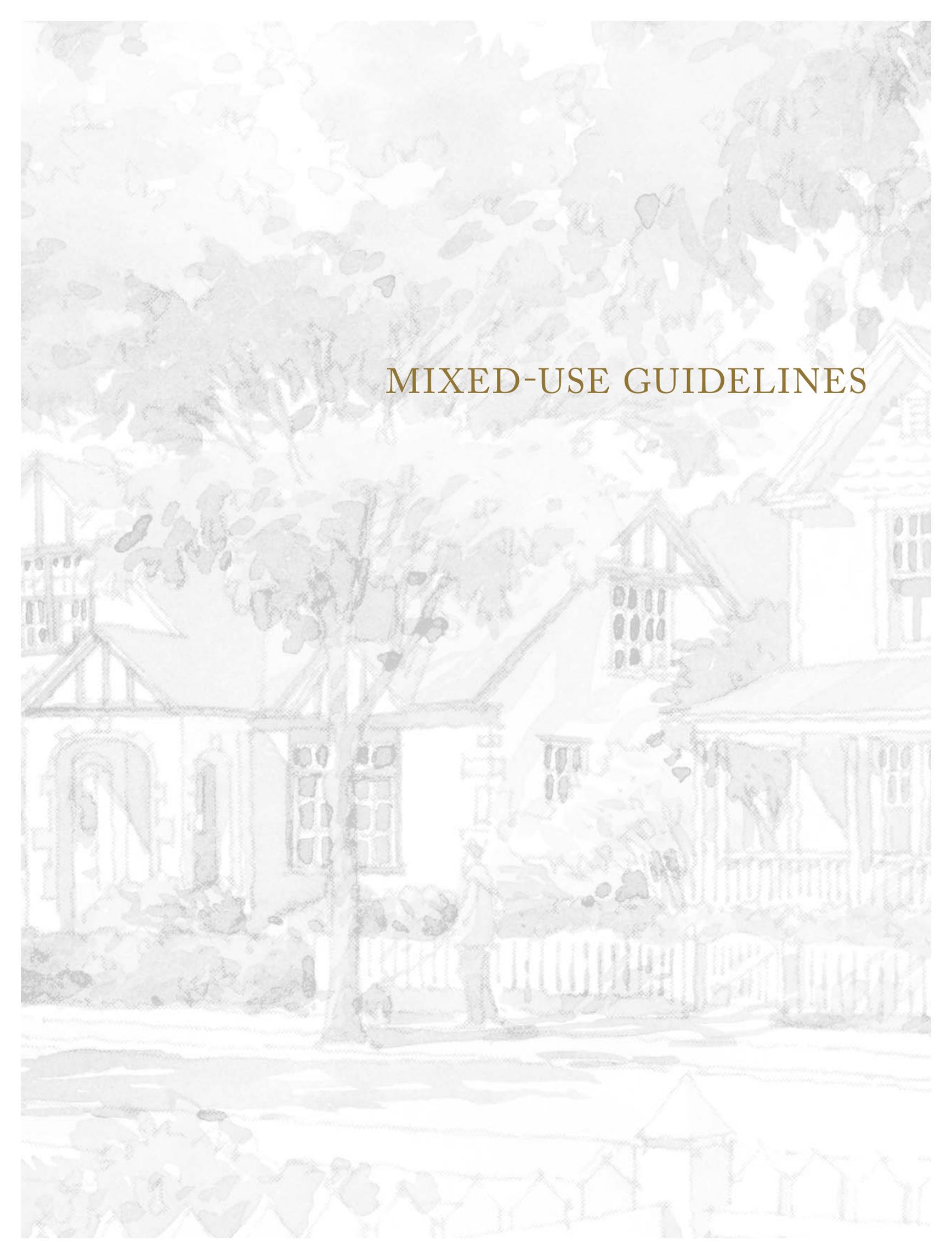
- » Material replacement can include standing seam metal, masonry tiles, and shingles
- » Color and material should be follow guidelines for each style
- » Photovoltaic systems may not be used on front or street facing elevations



DESIGN CONSIDERATIONS

- » Photovoltaic systems may not be used on front or street facing elevations
- » Wiring underneath panels must be carefully concealed
- » Vines and plantings must be trimmed and kept separate from wiring
- » May include shading devices over rear or side porches



A grayscale illustration of a residential street scene. In the foreground, a person is walking on a sidewalk next to a white picket fence. Behind the fence are several houses with gabled roofs and windows. Large trees with dense foliage are scattered throughout the scene, some partially obscuring the houses. The overall style is a fine-lined, stippled or halftone print.

MIXED-USE GUIDELINES

VILLAGE CENTER

Throughout the San Joaquin Valley, a number of traditional towns and villages have a memorable main street at their core. It is the center of civic life and public use for these communities, located within relatively close proximity to the surrounding residential neighborhoods. Ellis Drive will serve as the spine of the mixed-use core. Buildings will be organized, sited, and arranged relatively close to the street. The Village Center is designed to and proposes to accommodate a mix of uses ranging from retail, service, and office spaces to private residences above the public uses at street level. As such, the Village Center will fit within the regional traditions, utilizing building types appropriate for Ellis in the City of Tracy.



View of the Village Center along Ellis Drive



Illustrative plan of the Ellis Village Center

BUILDING PLACEMENT AND REQUIRED SETBACKS

The mixed-use buildings in the Ellis Village Center will be sited and designed according to specific requirements for placement on blocks and lots along Ellis Drive. This main street defines the core of the community. The guidelines which follow, developed as part of the master planning process, are meant to ensure that the diversity and character of Ellis called for in the Modified Ellis Specific Plan are implemented and maintained.

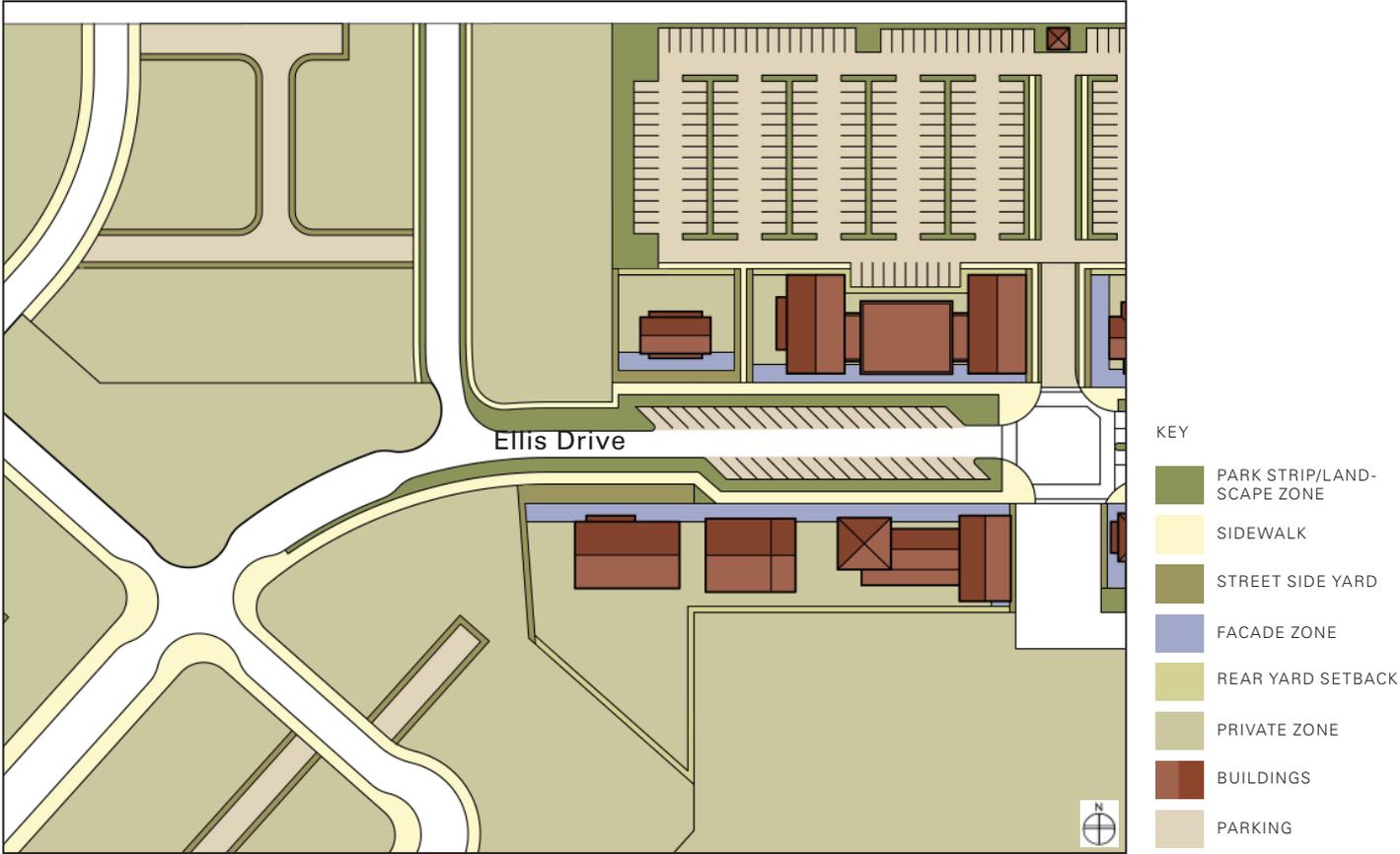
FRONT FACADE ZONE
There is no minimum setback required from the property line. The front facade of the buildings may be located anywhere within the ten-foot-deep Front Facade Zone.

**STREET SIDE SETBACK/
STREET SIDE FACADE ZONE**
There is a minimum five-foot setback from the street side property line to the building. The street side facade may be located anywhere within the fifteen-foot-deep Street Side Facade Zone.

REAR YARD SETBACK/REAR FACADE ZONE
All structures shall be set back a minimum of ten feet from the edge of parking and/or the rear property line.

ENCROACHMENTS
Porches, bay windows, and balconies may encroach up to five feet into the Setback Zones, but not over the property line. Awnings, if included, may encroach over the property line.

PARKING REQUIREMENTS
See Section 3.5.14 Parking/Loading/Bike Parking in the Modified Ellis Specific Plan.



Building Placement Diagram

FENCING RECOMMENDATIONS

Fencing within the Setback Zones is prohibited. Privacy fencing is required around recycling and trash areas. Screening from ground-level view shall be introduced on all sides, and shall be of the same finishing material used on the principal building.

OPEN SPACE REQUIREMENT

The Village Center requires landscaping within the parking lot as determined by multiplying the number of parking spaces by 20 square feet. The minimum landscape area may not be less than 36 square feet.

REFUSE STORAGE

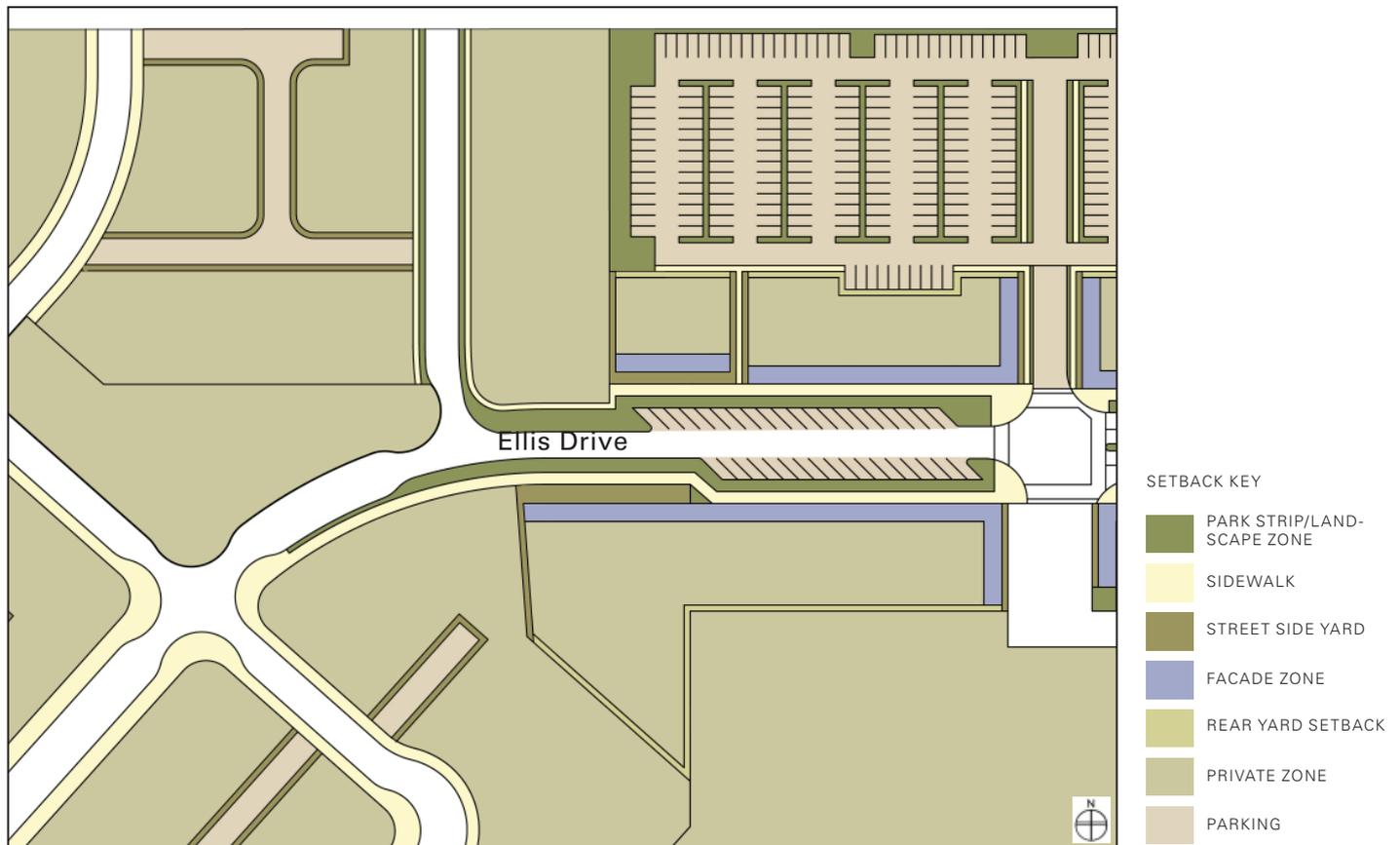
Commercial units shall maintain separate refuse and recycling storage containers from those used by residents. These containers will be integrated into off-street parking areas behind buildings. They must be of sufficient size to meet required trash and recycling needs. Refuse storage areas shall be clearly designated.

NON-RESIDENTIAL USES

The plan will accommodate up to 60,000 square feet of commercial uses in the Village Center. The Permitted Uses are outlined in the Modified Ellis Specific Plan.

RESIDENTIAL USES

Up to 50 high-density residential units may be located within the Village Center. Residential units are not permitted on the ground floor of mixed-use buildings.



Setbacks Diagram

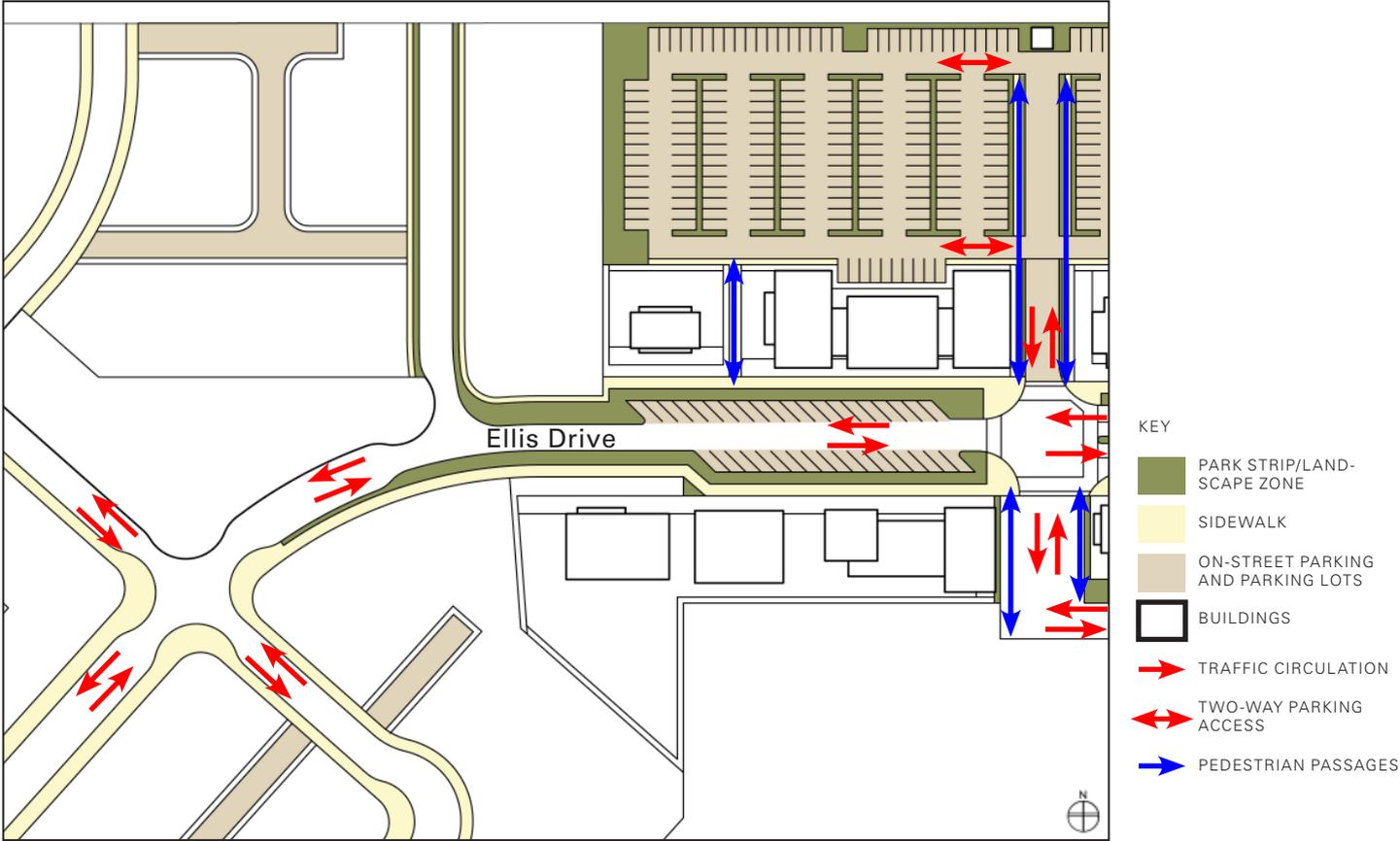
ACCESS, CIRCULATION, AND PARKING

The Ellis Village Center balances the pedestrian and vehicular circulation needs of the community. Streets and blocks are organized to provide clear and safer access to the Village Center for residents and visitors alike.

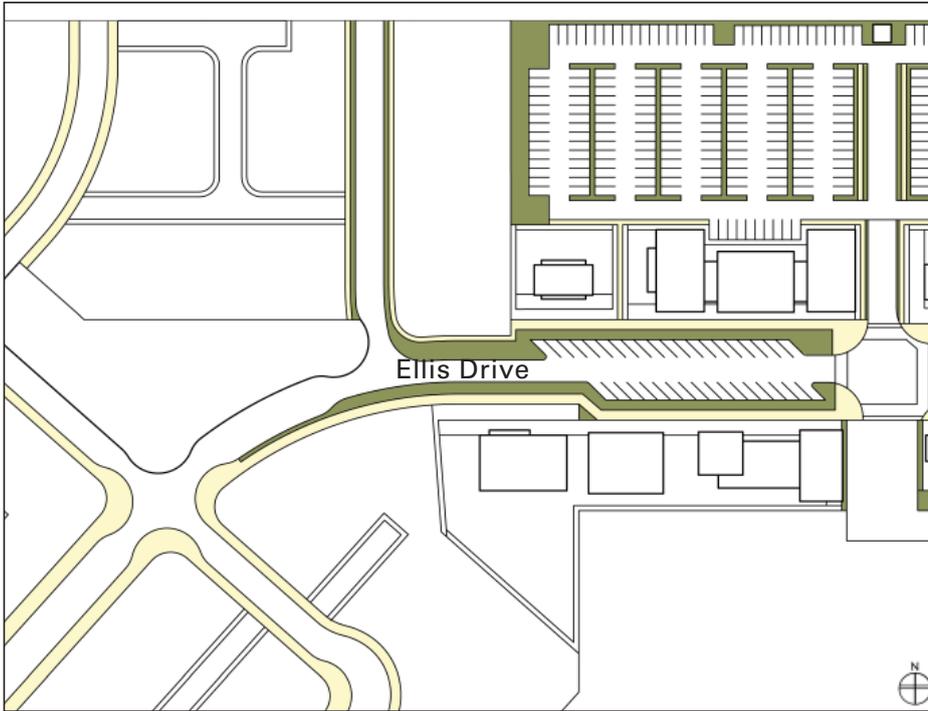
Primary access to the Village Center is along Ellis Drive, Ellis's traditional main street. From greater Tracy, the Ellis Village Center is accessed from Corral Hollow Road, one of the main north/south arterials in the City.

The street network of the Village Center is designed to organize and calm traffic as it enters the community from Corral Hollow Road. Ellis Drive accommodates two-way traffic throughout the Village Center. Cross streets provide access to off-street parking lots located behind buildings. Parking lots provide two-way movement to allow for an optimum number of access points and circulation options for drivers and servicing.

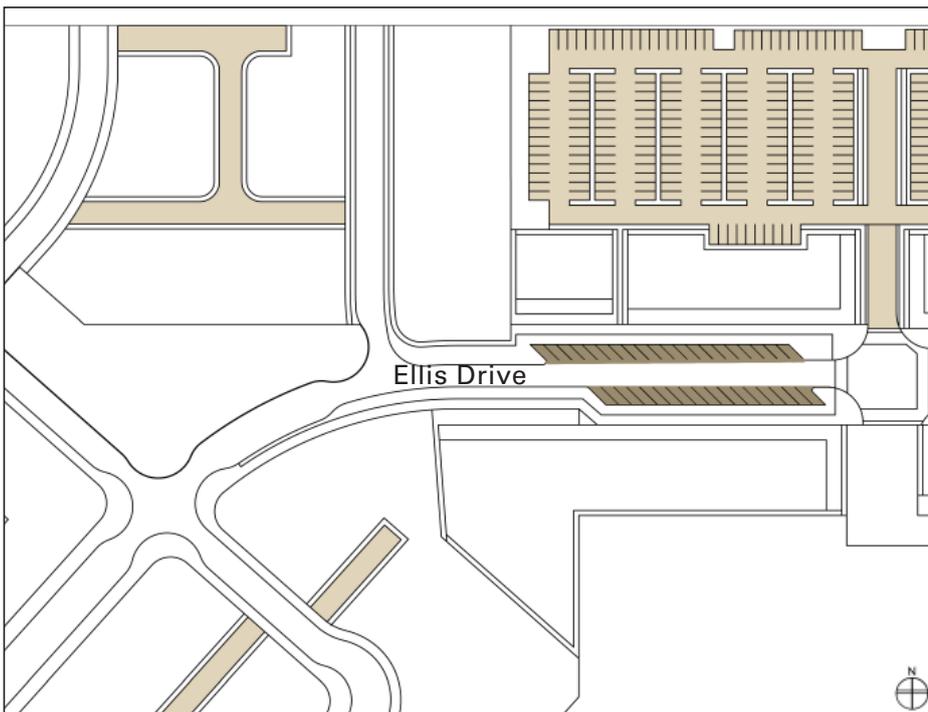
Parking in the Village Center is accommodated both on-street and in off-street, surface parking lots. On-street spaces provide convenient access to shops and offices for short-term visits and errands. Off-street parking is conveniently situated behind the buildings of Ellis Drive, with pedestrian passages required between buildings to provide multiple options for pedestrians to access the main street.



Access, Circulation, and Parking Diagram



PEDESTRIAN CIRCULATION
Sidewalks (yellow) and park strips (green) flank most public streets to improve pedestrian circulation and safety. Sidewalks are also located in and around the parking lots to create safe access routes between vehicles and uses located on Ellis Drive.



PARKING DIAGRAM
The majority of the Village Center parking is located behind buildings (lighter tone) to create a pedestrian environment on Ellis Drive. Limited on-street parking is also located along Ellis Drive (darker tone).

VILLAGE CENTER BUILDINGS

In towns throughout the Central Valley, the downtown main street is typically lined with one- to two-story buildings that incorporate a wide range of uses. Shops and offices often occupy the ground floor, while residences or offices occupy the space above. Historic building types tend to have large glass storefront openings on the ground floor and a regular pattern of windows on the upper floors. Due to the Central Valley climate, large awnings or deep galleries are encouraged. As is common throughout the region, a mix of architectural styles, ranging from Craftsman to Colonial Revival creates a very interesting environment for all who use it. This also helps to create an image of a main street where individual buildings have been added over time.

COMMON ELEMENTS OF VIL- LAGE CENTER BUILDINGS

- » Flat or shallow-pitched roofs
- » Large, glass storefront openings
- » Deep awnings or galleries to provide shade
- » Large upper-floor windows
- » Well-detailed eave or cornice treatments



GALLERY OF EXAMPLES



MASSING AND COMPOSITION

A ONE- TO TWO-STORY FLAT ROOF

Flat rectangular volume. Roof pitch is typically 1 to 2 in 12 and concealed behind parapet or cornice.

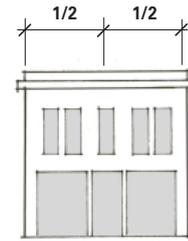
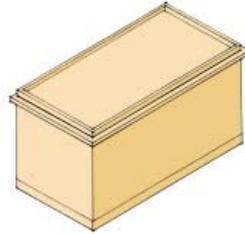
B TWO-STORY FRONT GABLE

Rectangular volume with a $3\frac{1}{2}$ to 6 in 12 front-gabled roof. Cornice may be located at base of gable to create pediment front.

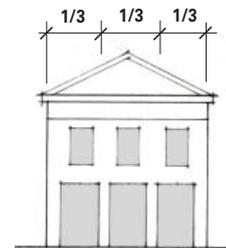
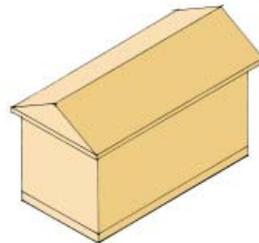
C TWO-STORY FRONT GABLE

Cross-gabled volume with a $3\frac{1}{2}$ to 6 in 12 gable facing the street. Porches may be located between the legs of the L or may span the front of the building.

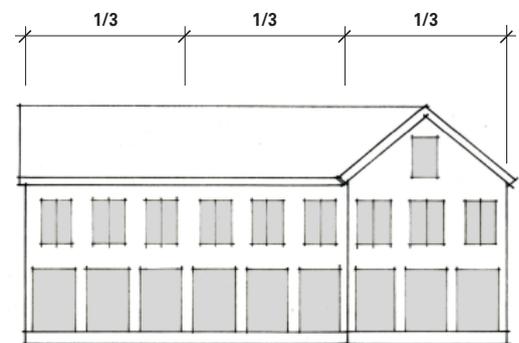
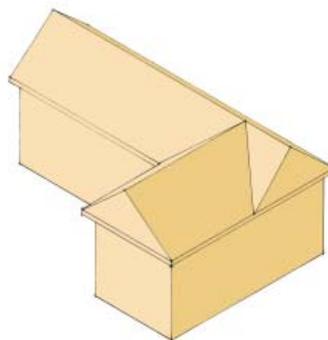
A ONE- TO TWO-STORY FLAT ROOF

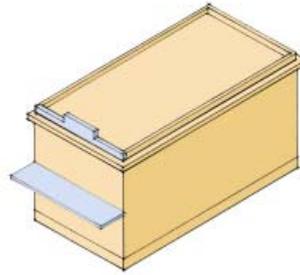
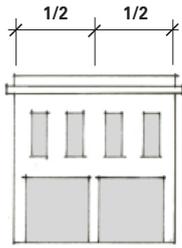


B TWO-STORY FRONT GABLE

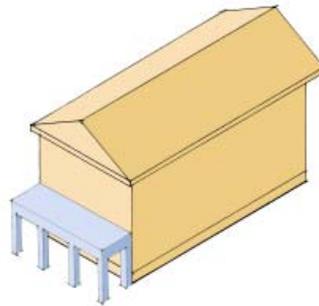
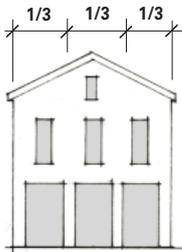


C TWO-STORY GABLE L

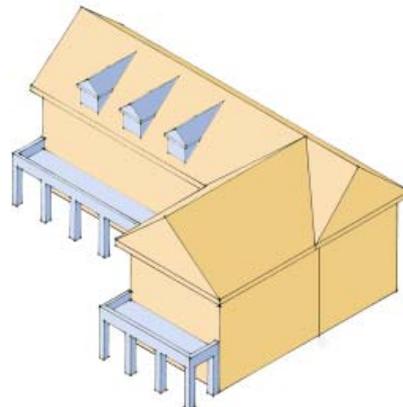
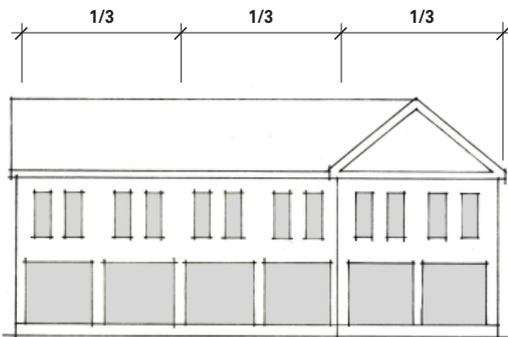




A Two-story flat roof massing with cornice detail and front awning



B Two-story front-gabled massing with front gallery



C Two-story gable L massing

POSSIBILITIES

PRECEDENTS



MATERIALS

SIDING/CLADDING

- » Stucco
- » Brick
- » Wood or fiber-cement siding

ROOFING

- » Flat clay tile, composition shingles, slate (including manufactured slate products)

WINDOWS

- » Energy-efficient wood, PVC, aluminum-clad, or aluminum
- » True divided light appearance

COLUMNS

- » Wood or composite posts

TRIM

- » Ornamental cast stone, wood, or stucco

EAVES

- » Wood sheathing with 2x, 3x, or 4x rafter tails
- » Stucco molded eaves are permitted

EXTERIOR CEILINGS

- » Plank and beam

GUTTERS

- » Half-round metal or PVC

DOWNSPOUTS

- » Round metal or PVC

SHUTTERS

- » Plank/board or panel type
- » Wrought iron hinges, shutter dogs, and latches are encouraged

REAR YARD FENCES AND ENCLOSURES

- » Painted wood, prefinished metal, or masonry

COLORS

STUCCO

- » Buff, ivory, or tan

HALF-TIMBERING

- » Dark stain, pure color, or selected from the Ellis Color Palette

ROOF MATERIALS

- » Clay tile in red or red/brown range
- » Cedar shakes natural, no finish
- » Slate in green/gray or green/brown ranges

WINDOWS

- » Dark stain, pure color, or selected from the Ellis Color Palette

TRIM/SHUTTERS

- » Dark stain, pure color, or selected from the Ellis Color Palette

GUTTERS

- » Match color of eaves

DOWNSPOUTS

- » Match color of stucco substrate or trim color

FENCING

- » Metals in matte brown/black, rust-red, or antiqued black
- » Wood in black, black-green, brown, or green

FAMILY SWIM CENTER

The proposed Family Swim Center is a family-friendly recreation destination for the City of Tracy. It will be planned and scripted to seamlessly blend in with the future buildings of the Ellis Village Center, neighborhoods, and parks.

The facility will be linked to the Village Center by Ellis Village Station and may include a competition pool, recreation pool, sprayground, water slide, wet play structure, lazy river, and flow rider, along with support facilities such as showers, locker rooms, and a ticket area.



Illustrative Plan of the Family Swim Center



Photo: Gates & Associates



Photo: Gates & Associates



Swim Center Image and Character

SECTION 4 MIXED-USE Community Patterns

ELLIS PATTERN BOOK

ZONES, ENTRANCES, AND VIEW CORRIDORS

Entrances, view corridors, and building and landscape views within the Family Swim Center are essential to the success of the center. The different zones that make up the Family Swim Center must be integrated in various ways to the overall edge of the center.

In this Center, a landscape buffer zone will serve to separate the Family Swim Center from the surrounding areas. Within the Family Swim Center, various open space areas will allow for passive recreation by the guests. These areas will be designed to be used to not only accommodate the various activities and programs, but also to provide a sense of place and character to the center.

An efficient parking and circulation system will enhance the usability and popularity of the Family Swim Center. The parking and circulation system will be designed to be used to not only accommodate the various activities and programs, but also to provide a sense of place and character to the center.

Let us have our eyes on the Family Swim Center and the surrounding areas. The various activities and programs within the Family Swim Center will be designed to be used to not only accommodate the various activities and programs, but also to provide a sense of place and character to the center.

SECTION 4 MIXED-USE Architectural Patterns

ELLIS PATTERN BOOK

FAMILY SWIM CENTER BUILDINGS

The Family Swim Center at Ellis is a regional destination and great recreational activity for the residents of Tracy. Since the Family Swim Center is a facility that is to be used by the residents of Tracy, it is important that the architecture and design be of high quality and reflect the character of the City of Tracy.

In order to enhance the facility's public nature, an architectural vocabulary has been developed that builds upon the traditions of the region with the idea of the Family Swim Center as a resort for the residents of Tracy. As such, the design approach focuses on the traditional architectural styles found throughout California, with a focus on elements appropriate to the climate of Tracy.

Buildings will provide shade and will be painted in colors that are light and neutral to reduce heat gain. Pergolas, fabric, and other shade structures will provide protection from the elements and will define outdoor areas as outdoor rooms. Canopies and other features will be used at the junction of glass and porches to connect the various Family Swim Center experiences together, and to provide a clear sense of destination and orientation.

COMMON ELEMENTS OF FAMILY SWIM CENTER BUILDINGS

- Shade structures integrated to the architectural form.
- Simple, traditional architectural building.
- Pergolas, patios, and other outdoor features to define outdoor rooms.
- Simple roof lines with deep overhangs.
- Materials that are simple and elegant, such as stone and concrete, with warm finishes.
- Seamless transitions between indoor and outdoor materials and environments.

Examples of the Community Patterns and Architectural Patterns pages for the Family Swim Center

ZONES, ENTRANCES, AND VIEW CORRIDORS

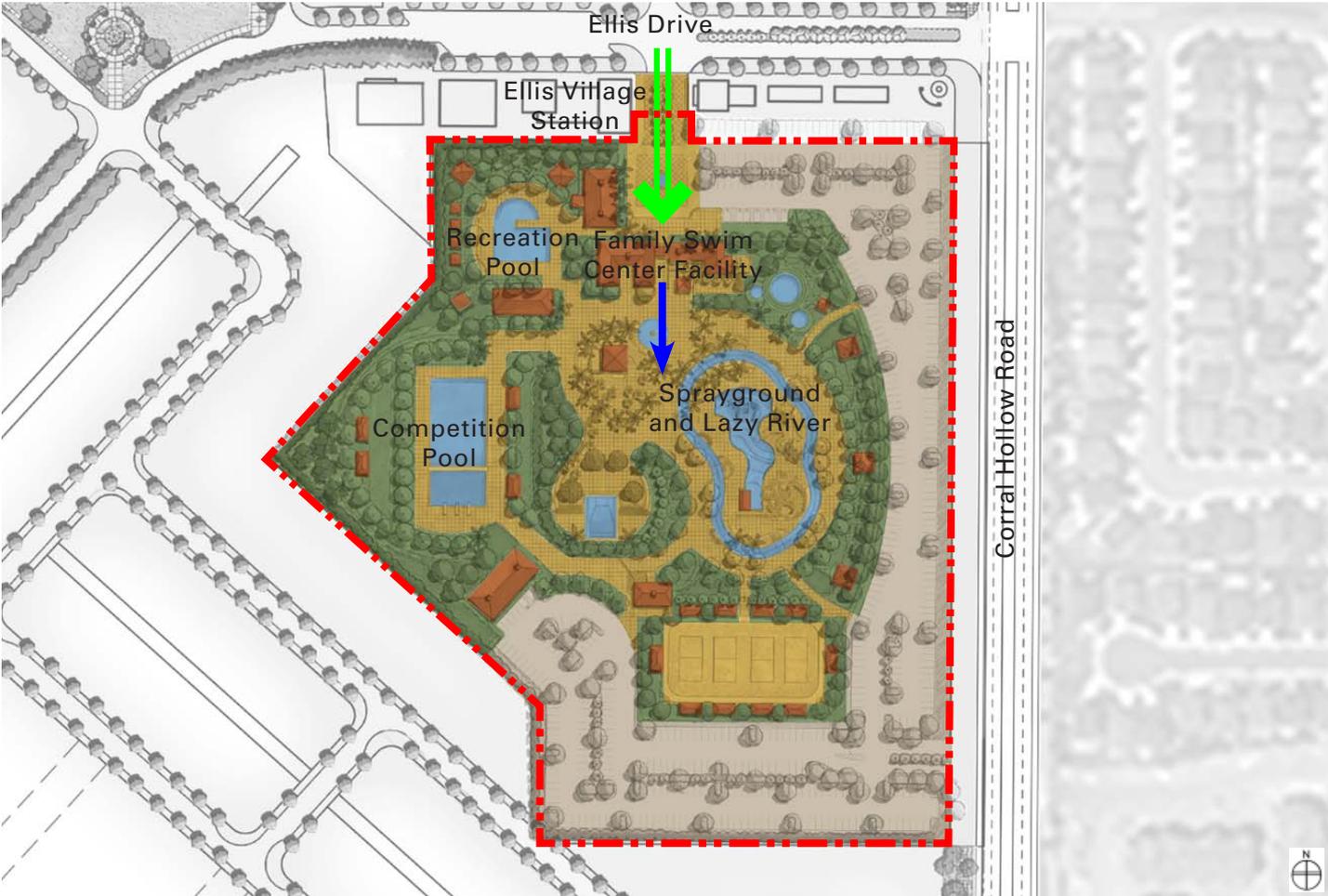
Entrances, view corridors, and building and landscape zones within the Family Swim Center constitute key elements of Ellis because of the prominence of the Family Swim Center.

The different zones that make up the Family Swim Center itself will organize its various functions. At the outermost edge of the Fam-

ily Swim Center, a landscape buffer will serve to screen parking from passing traffic and pedestrians. Beyond the landscape, parking lots will be further screened and will contain landscape elements to shade and enhance these spaces. Well-maintained pedestrian access to the

entry areas will help its connection to the Ellis Village Center.

Within the Family Swim Center, various open space areas will allow for passive recreation by the guests. Plazas will further connect the open space, facilities and pavilions, and the aquatic areas and pools.



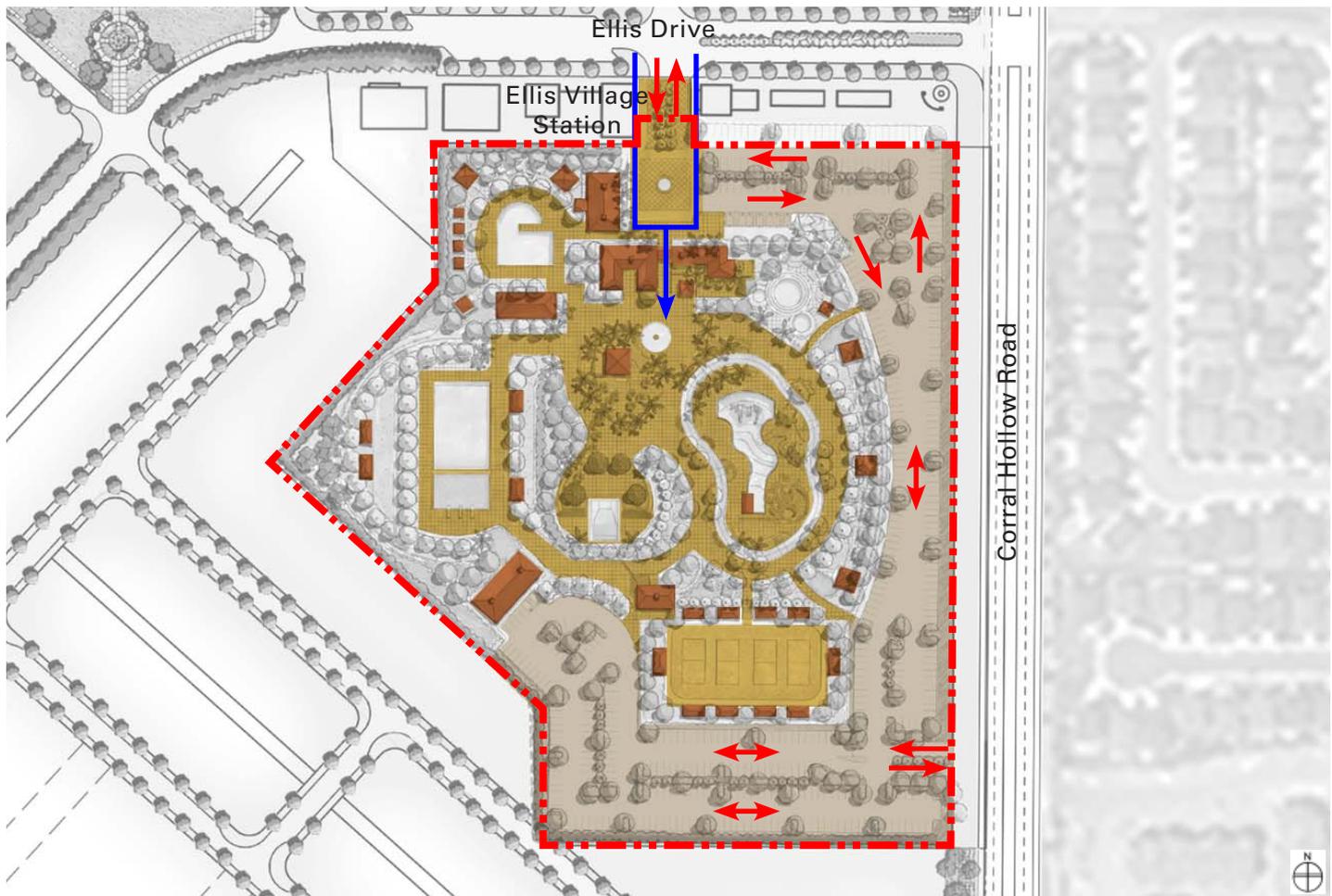
- SWIM CENTER ENTRANCES
- VIEW CORRIDORS
- - - FAMILY SWIM CENTER BOUNDARY
- OPEN SPACE/BERMS
- PLAZAS
- FAMILY SWIM CENTER FACILITIES AND PAVILIONS
- PARKING
- POOLS/AQUATIC AREAS
- LANDSCAPE BUFFER

Ellis Swim Center Zones, Entrances, and View Corridors

An efficient parking and circulation system will enhance the usability and popularity of the Family Swim Center for guests and residents alike. Parking is designed to be oriented to and easily accessed from all entrances to the Family Swim Cen-

ter. Lots will have easy access from both Ellis Drive and the neighborhood street system.

The two main pedestrian entrances to the Family Swim Center will be from Ellis Drive and the eastern parking lots for ease of access.



- FAMILY SWIM CENTER FACILITIES AND PAVILIONS
- PLAZAS
- PARKING LOTS AND DRIVEWAYS
- TRAFFIC CIRCULATION
- TWO-WAY PARKING ACCESS
- PEDESTRIAN ENTRANCES
- FAMILY SWIM CENTER BOUNDARY

Ellis Family Swim Center Circulation, Access, and Parking

FAMILY SWIM CENTER BUILDINGS

The Family Swim Center at Ellis is a regional destination and great recreational amenity for the residents of Tracy. Since the Family Swim Center is a facility that is civic in nature, close attention should be paid to its architecture and its relationship to the neighborhoods, the Village Center at Ellis, and the City of Tracy.

In order to celebrate the facility's public nature, an architectural vocabulary has been developed that builds upon the traditions of the region with the idea of the Family Swim Center as a resort for the residents of Tracy. As such, the imagery suggested here follows the tradition of great beach resorts found throughout California, with a focus on elements appropriate to the climate of Tracy.

Buildings will provide shade, and will be painted in white or light colors to reduce heat gain. Pergolas, fabric, and other shade structures will provide protection from the elements and will define landscaped areas as 'outdoor rooms.' Cabanas and other pavilions will be sited at the juncture of plazas and paths to connect the varying Family Swim Center experiences together, and to provide a clear system of pedestrian and user circulation.

COMMON ELEMENTS OF FAMILY SWIM CENTER BUILDINGS

- » Shade structures integral to the architectural forms
- » Simple, traditional architectural detailing
- » Pergolas, pavilions, and cabanas that relate to the overall architectural form
- » Simple roof forms with deep overhangs
- » Materials that are simple and elegant, such as siding and standing seam roofs
- » Seamless transition between indoor and outdoor materials and environments



GALLERY OF EXAMPLES



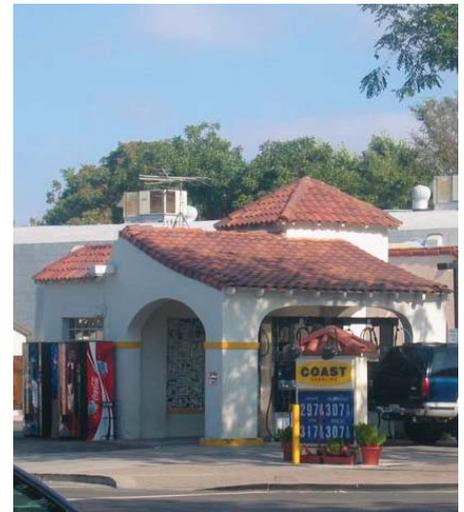
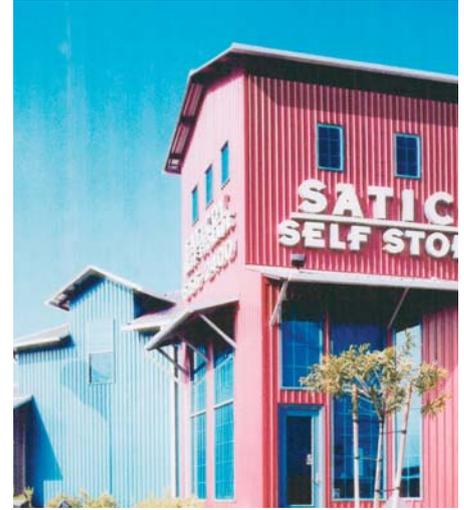
COMMERCIAL SITES

Commercial sites have been identified for auto-oriented uses along and just inboard of Corral Hollow Road. The development of thoughtful and integrated site plans and buildings on these sites will be critical for the image of Ellis, the urban extension of the City of Tracy. Because these parcels are a gateway to Ellis, their quality and character need to be in alignment with the traditional character of the Ellis community.

Commercial buildings on outparcels should be sited to minimize the presence of parking and associated service areas. Large and small buildings should also reduce the visual impact of both drive-throughs and parking areas through landscaping. Like all other buildings in the adjacent Ellis Village Center, these commercial buildings should address the street with attractively designed public facades.



Illustrative Plan of the Ellis Commercial Sites along Corral Hollow Road



SECTION 4 COMMERCIAL / PUBLIC FACILITIES Community Patterns

ELLIS PATTERN BOOK

BUILDING PLACEMENT AND SETBACKS

The buildings located on commercial sites within the Village Center will follow a pattern similar to placement on sites within 3. This arrangement will create an extension of the main street character of the Village Center towards Carol Hollow Road and also serve as the primary entrance to Ellis from the east.

FRONT YARD ZONE
There is a minimum setback required from the property line. The front facade of the building may be located anywhere within the 15-foot-deep Front Yard Zone.

STREET SIDE VARDISTRICT SIDE YARD ZONE
There is a 5-to-20-foot setback from the street side property line to the building, depending on the lot location. The street side setback may be located anywhere within the 15-foot-deep Street Side Yard Zone.

REAR YARD SETBACK
All structures shall be set back a minimum of 10 feet from the edge of parking and/or rear property line.

ENCLOSURES
Fences, bay windows, balconies, and awnings if included, may not reach up to 5 feet into the Setback Zones, but not across the property line.

PARKING REQUIREMENTS
New Parking Requirements in the Modified Ellis Specific Plan.

FENCING RECOMMENDATION
Fencing in the Setback Zones is prohibited. Privacy Screening is required around existing and new uses, including existing and new uses, and shall be placed at all edges and shall be used on the principal building.

SCREENING REQUIREMENT
Landscaping within the parking lot is required and determined by multiplying the number of spaces by 20 square feet. The minimum landscaping area may not be less than 36 square feet.

OFFICE STORAGE
Commercial uses shall maintain separate refuse and recycling storage containers from those used by residents. These containers will be integrated into off-street parking areas behind buildings. They may be of sufficient size to meet required trash and recycling needs. Refuse storage areas shall be clearly designated.

ELLIS Drive

4122

SECTION 4 COMMERCIAL / PUBLIC FACILITIES Architectural Patterns

ELLIS PATTERN BOOK

COMMERCIAL BUILDINGS

Commercial buildings within the Village Center should be designed to be easily accessed by cars. The thoughtful development of site plans and buildings on commercial sites will be critical to the image of quality and character established in the design principles of Ellis. Large buildings in these areas should reduce the impact of large parking lots through their placement and landscaping. Small buildings should be oriented to screen the larger buildings and parking areas. In all other buildings in Ellis, commercial buildings should address the street with architecturally designed public facades.

COMMON ELEMENTS OF COMMERCIAL OUTPARCEL BUILDINGS

- Entrances and building forms should face onto public streets and sidewalks.
- Simple, single-story awnings and awl facades are preferred to be in with associated Village Center architecture.
- The building materials and landscaping is consistent with the Ellis Village Center.

GALLERY OF EXAMPLES

4126

4127

Examples of the Community Patterns and Architectural Patterns pages for Commercial Sites

BUILDING PLACEMENT AND SETBACKS

The buildings located on commercial sites outside the Village Center will follow a pattern similar to placement on sites within it. This arrangement will create an extension of the main street character of the Village Center towards Corral Hollow Road and also serve as the principal entrance to Ellis from the east.

FRONT FACADE ZONE

There is no minimum setback required from the property line. The front facade of the buildings may be located anywhere within the 15-foot-deep Front Facade Zone.

STREET SIDE YARD/STREET SIDE FACADE ZONE

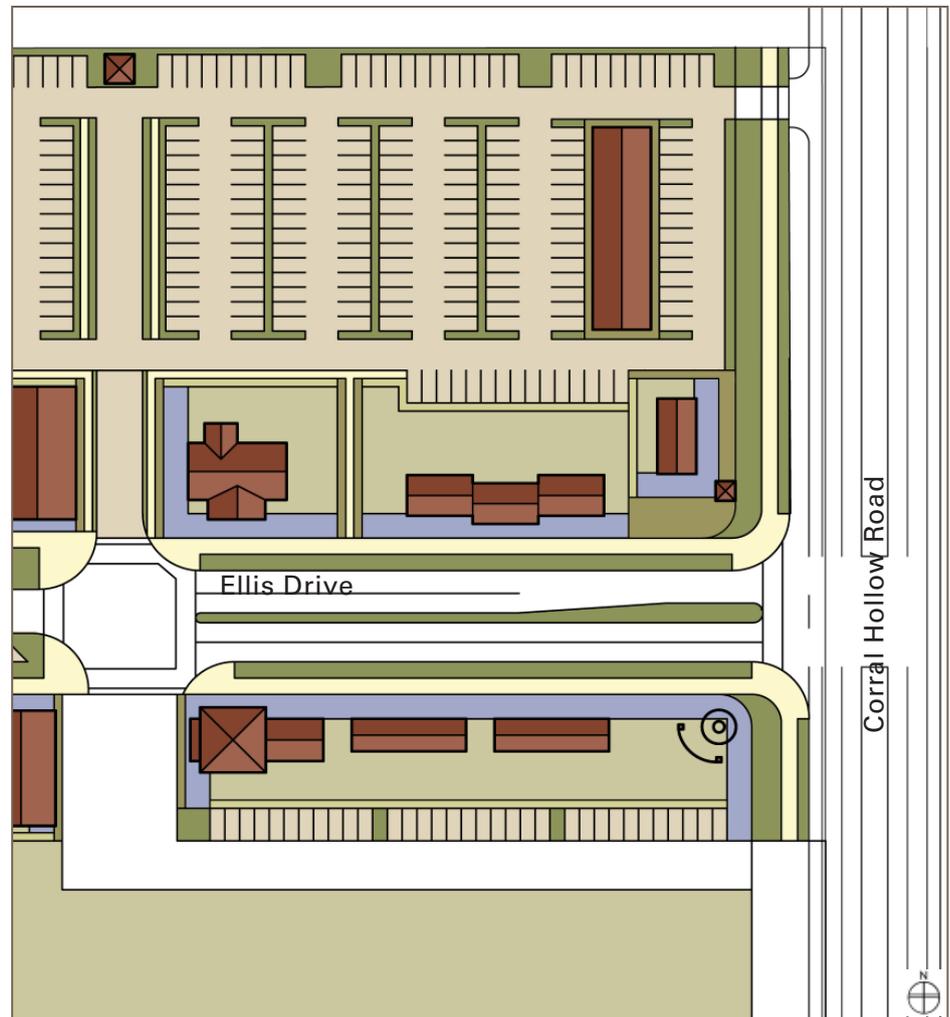
There is a 5-to 25-foot setback from the street side property line to the building, depending on the lot location. The street side facade may be located anywhere within the 15-foot-deep Street Side Facade Zone.

REAR YARD SETBACK

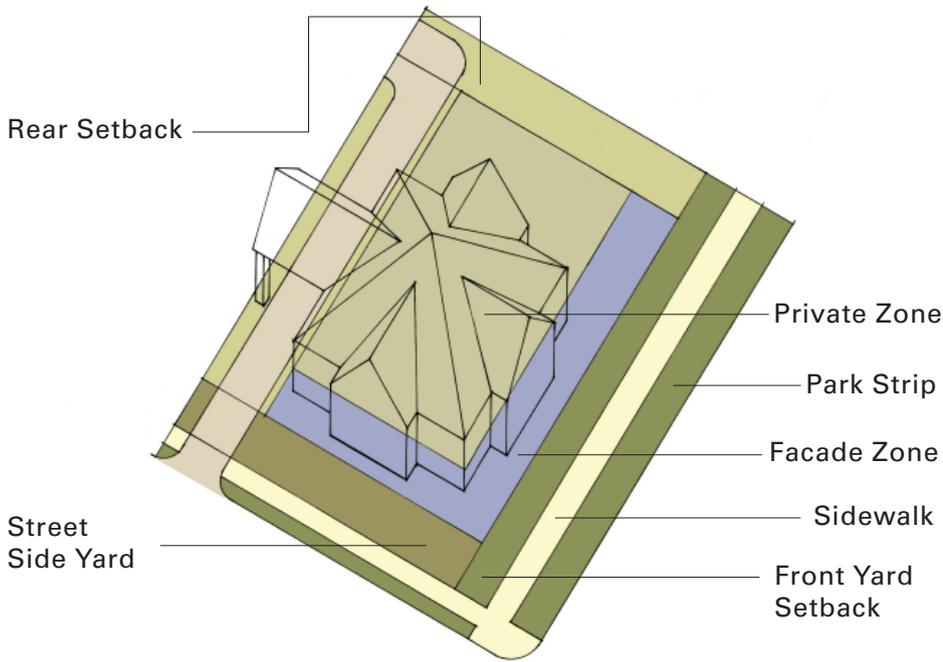
All structures shall be set back a minimum of 10 feet from the edge of parking and/or rear property line.

ENCROACHMENTS

Porches, bay windows, balconies, and awnings, if included, may encroach up to 5 feet into the Setback Zones, but not across the property line.



Ellis Commercial Building Placement outside the Village Center (see facing page for explanation of land designations)



PARKING REQUIREMENTS
See Parking Requirements in the Modified Ellis Specific Plan.

FENCING RECOMMENDATIONS

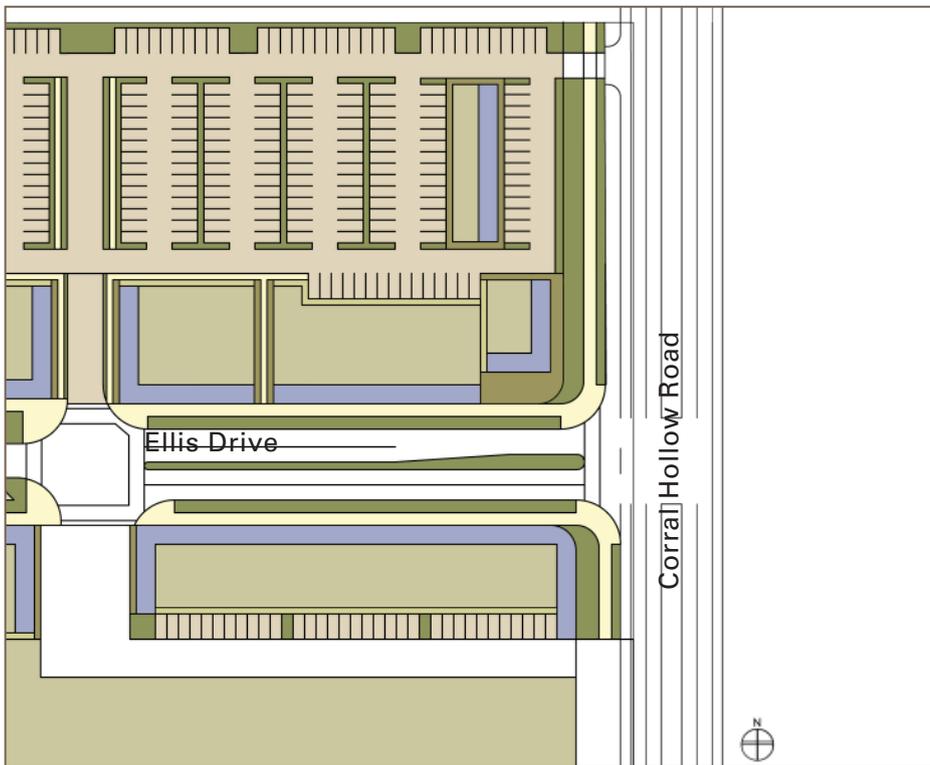
Fencing in the Setback Zones is prohibited. Privacy fencing is required around recycling and trash areas. Screening from ground-level view shall be placed on all sides and shall be of the same finishing material used on the principal building.

OPEN SPACE REQUIREMENT

Landscaping within the parking lot is required and determined by multiplying the number of spaces by 20 square feet. The minimum landscape area may not be less than 36 square feet.

REFUSE STORAGE

Commercial units shall maintain separate refuse and recycling storage containers from those used by residents. These containers will be integrated into off-street parking areas behind buildings. They must be of sufficient size to meet required trash and recycling needs. Refuse storage areas shall be clearly designated.



Ellis Commercial Buildings Setback Diagram

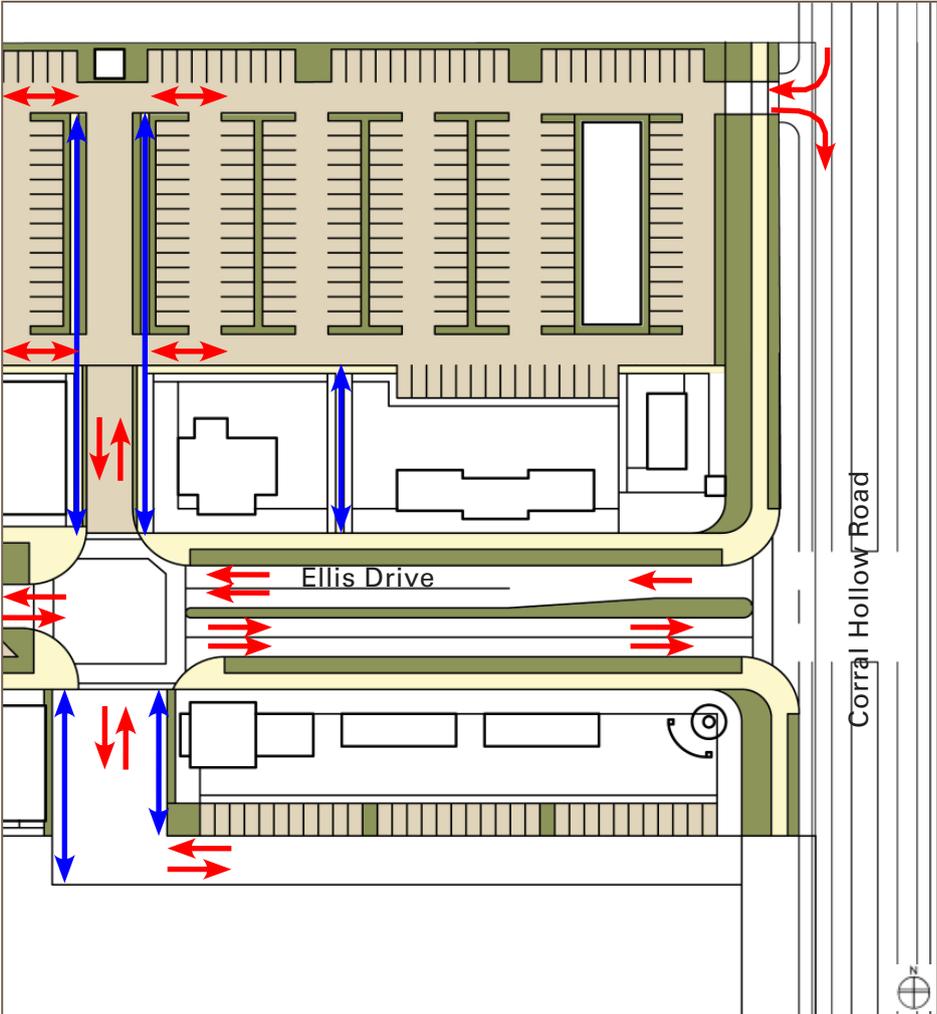
ACCESS, CIRCULATION, AND PARKING

The Commercial Sites must be balanced with the pedestrian and vehicular circulation needs of the community. Streets and parcels are organized as blocks to provide clear and safer access to the businesses and residents alike.

Primary access to the Commercial Sites is along Ellis Drive, Ellis's traditional main street, adjacent to Corral Hollow Road.

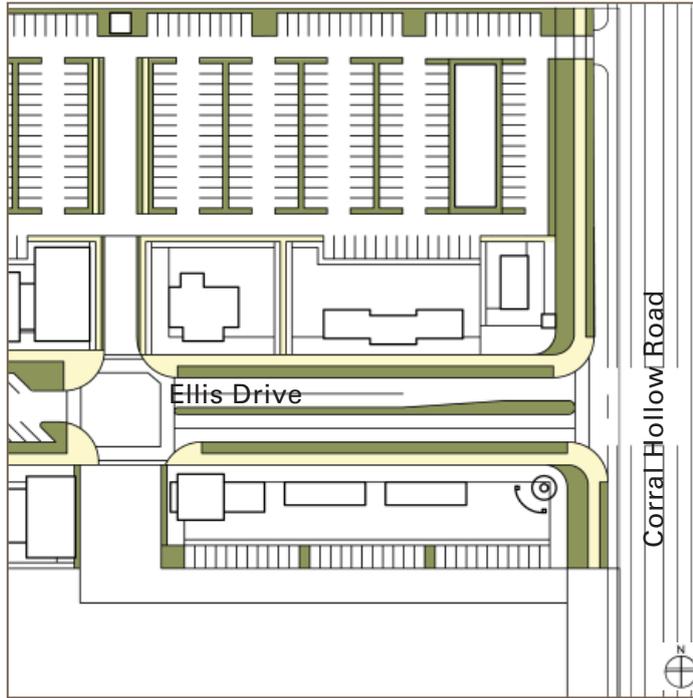
The street network leading to these commercial parcels is designed to organize and calm traffic as it enters Ellis from Corral Hollow Road. Streets crossing Ellis Drive provide access to parking lots located primarily behind buildings. Parking lots allow for two-way movement creating an optimum number of access points and circulation options for drivers.

Parking among the Commercial Sites is accommodated in off-street, surface parking lots. Off-street parking is conveniently situated behind the buildings of Ellis Drive Drive-throughs are oriented toward parking lots, not Ellis Drive.



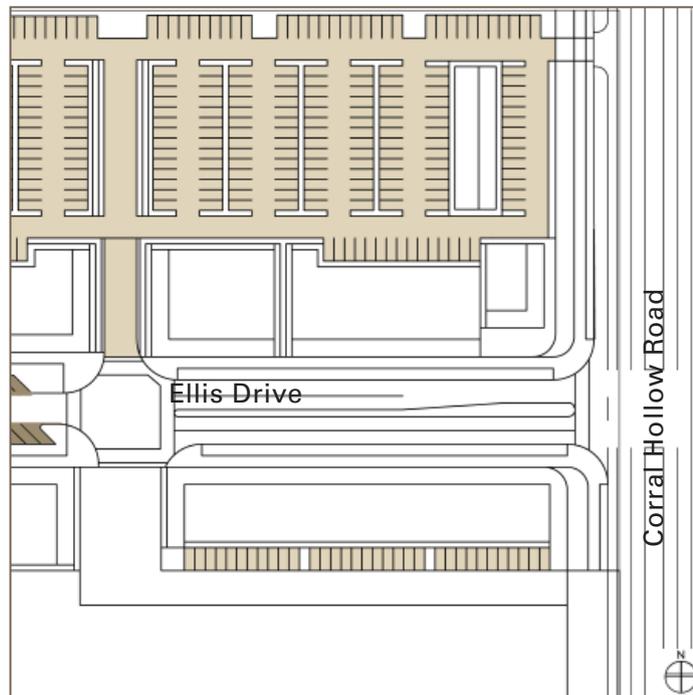
Ellis Commercial Site Access, Circulation, and Parking Diagram

- PARK STRIP/LANDSCAPE ZONE
- ON-STREET PARKING AND PARKING LOTS
- SIDEWALKS
- TRAFFIC CIRCULATION
- TWO-WAY PARKING ACCESS
- PEDESTRIAN CIRCULATION/PASSAGES
- BUILDINGS



PEDESTRIAN CIRCULATION

Most public streets have sidewalks (yellow) and park strips (green) to create a safer pedestrian environment. Sidewalks are also located in and around the large parking lots to create safe access routes between vehicles and uses located on Ellis Drive.



PARKING DIAGRAM

The majority of parking for the Commercial Sites is located behind buildings (gray) to create a better pedestrian environment on Ellis Drive. No on-street parking is located around these commercial parcels.

COMMERCIAL BUILDINGS

Commercial Buildings refers to those buildings, located along major arterials, which are meant to be easily accessed by cars. The thoughtful development of site plans and buildings on commercial sites will be critical to the image of quality and character embodied in the design principles of Ellis. Large buildings in these areas should reduce the impact of large parking bays through their placement and landscaping. Small buildings should be oriented to screen the larger buildings and parking areas. Like all other buildings in Ellis, outparcel buildings should address the street with attractively designed public facades.



COMMON ELEMENTS OF COMMERCIAL OUTPARCEL BUILDINGS

- » Entrances and building fronts should face onto public streets and sidewalks
- » Employ simple massings and roof forms in order to fit in with associated Village Center architecture
- » Use building materials and landscaping in common with the Ellis Village Center

GALLERY OF EXAMPLES



STORAGE BUILDINGS

The storage buildings at Ellis will provide additional recreational vehicle, vehicle, boat, equipment, and personal storage opportunities for residents of the Tracy community (abandoned or inoperable vehicles, or uses allowed in an automobile wrecking yard, are not permitted). These buildings are located in an area where active uses are limited due to the proximity of the Tracy Municipal Airport. Therefore, the land around the storage buildings could be used for, but is not limited to, fruit orchards or other small-scale, community-oriented agricultural uses in the long-term.

The storage buildings may be designed in an agrarian style, similar to the types of rustic barns and stables that are found throughout the Central Valley. Architectural guidelines and design review will only regulate the public, street-facing facades of buildings since the storage use within is utilitarian and screened from public view. This will create a very pleasing environment and a unique entry experience to the Ellis community along Middlefield Road, with signage facing both Middlefield Road, Corrow Hollow Road and toward the Union Pacific Railroad tracks along the south side of Ellis.

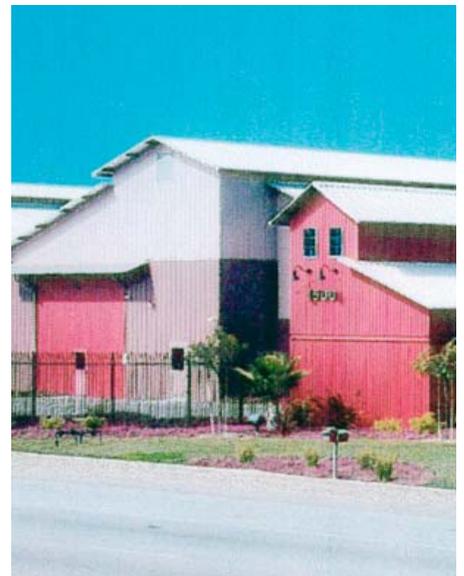
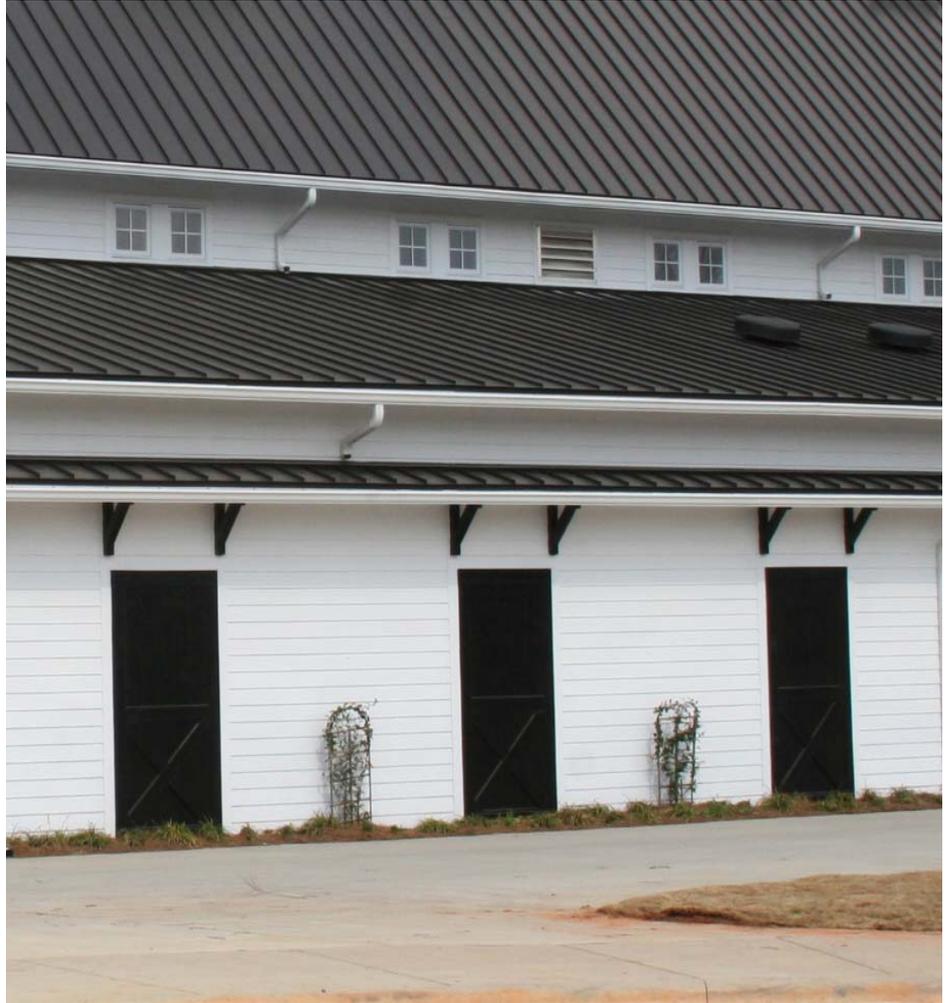
Open storage uses can be opened with temporary improvements, excluding sewer, sidewalks, and gutter, and the area may be enclosed by a separation fence.

COMMON ELEMENTS OF STORAGE BUILDINGS

- » Storage uses as permitted in Section 3 of the Modified Ellis Specific Plan
- » Linear forms with shallow pitched roofs
- » Agrarian vernacular architecture in the appearance of barns or stables



GALLERY OF EXAMPLES



PUBLIC FACILITIES

Public buildings will serve a key role in the image of Ellis and will be landmark structures around which other development is designed. Public buildings should provide public faces to all adjacent streets or park frontages. Access to the primary entrance should be clear; adequate consideration should also be given to lighting, as well as walkways and signage that are sympathetic to the surrounding uses. Many facilities create opportunities to terminate a visual axis by providing centers for the various neighborhoods and districts. Composed elevations and building massing should reflect these important locations.

All parking and service areas should be secondary to building locations and screened from public view. Civic sites should avoid fronting streets or parks with parking and service areas. Driveways and service entrances should be sited to minimize congestion and respect orientation and entrances for surrounding uses. Service areas and mechanical equipment should be screened from public view along all streets and public parks.

COMMON ELEMENTS OF PUBLIC BUILDINGS

- » Should be located in prominent locations that receive large amounts of pedestrian and vehicular traffic
- » Use traditional architectural styles to convey an idea of well-established community resources and institutions
- » Tall floor-to-floor heights and steep roof pitches to create a significant presence on the street



GALLERY OF EXAMPLES



